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November 10, 2009

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**SUBJECT: START 3, EPA Region 8, Contract No. EP-W-05-050, TDD No. 0909-08
Phase I ESA Report – Wheat Ridge 7100/7150 West 38th Avenue Targeted Brownfields
Assessment (TBA) Wheat Ridge, Jefferson County, Colorado**


Dear Joyce:

Attached is one copy of the final Phase I Environmental Site Assessment (ESA) Report for the Wheat Ridge 7100/7150 West 38th Avenue TBA, Wheat Ridge, Jefferson County, Colorado. Per your request I have sent one copy of this report to Denise Balkas, Director of Real estate Development with Wheat Ridge 2020. A site visit was conducted on October 6, 2009. This document is submitted for your review and approval.

If you have any questions, please call me at 303-291-8272.

Very truly yours,

URS OPERATING SERVICES, INC.



Jeremiah Ervin
Project Manager

Attachment

cc: Charles W. Baker w/o attachments
File/UOS

START 3

Superfund Technical Assessment and Response Team 3 -
Region 8



United States
Environmental Protection Agency
Contract No. EP-W-05-050

PHASE I ENVIRONMENTAL SITE ASSESSMENT (ESA) REPORT

WHEAT RIDGE 7100/7150 WEST 38TH AVENUE
TARGETED BROWNFIELDS ASSESSMENT (TBA)
Wheat Ridge, Jefferson County, Colorado

TDD No. 0909-08

NOVEMBER 10, 2009



URS

OPERATING SERVICES, INC.

In association with:

Garry Struthers Associates, Inc.
LT Environmental, Inc.
TechLaw, Inc.
Tetra Tech EM, Inc.
TN & Associates, Inc.

PHASE I ENVIRONMENTAL SITE ASSESSMENT REPORT

**WHEAT RIDGE 7100/7150 WEST 38TH AVENUE TBA
Wheat Ridge, Jefferson County, Colorado**

**EPA Contract No. EP-W-05-050
TDD No. 0909-08**

**Prepared By:
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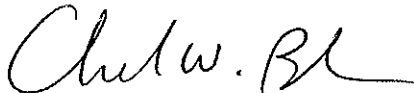
Approved:



Joyce Ackerman, On-Scene Coordinator, EPA, Region 8

Date: 11-20-09

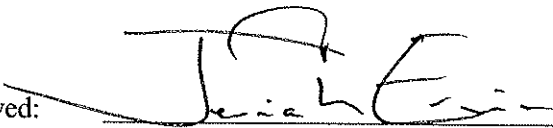
Approved:



Charles W. Baker, START 3 Program Manager, UOS

Date: 11/10/09

Approved:



Jeremiah Ervin, START 3 Project Manager, UOS

Date: 11/10/2009

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WHEAT RIDGE 2020

Denise Balkas (1 copy) Director of Real Estate Development, WR2020

URS OPERATING SERVICES, INC.

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PHASE I ENVIRONMENTAL SITE ASSESSMENT

WHEAT RIDGE 7100/7150 West 38th AVENUE TARGETED BROWNFIELDS ASSESSMENT Wheat Ridge, Jefferson County, Colorado

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1.0 INTRODUCTION

This document is submitted in accordance with the task elements specified in Technical Direction Document (TDD) 0909-08 dated September 29, 2009, issued to URS Operating Services, Inc. (UOS) Superfund Technical Assessment and Response Team 3 (START) in Region 8 of the U.S. Environmental Protection Agency (EPA). The purpose of this TDD is to perform a Targeted Brownfields Assessment (TBA) at the property located at 7100/7150 West 38th Avenue in Wheat Ridge, Jefferson County, Colorado.

Wheat Ridge 2020 (WR2020), a community-based non-profit development corporation, has requested assistance from the EPA with characterizing environmental conditions for the 7100/7150 West 38th Avenue property in Wheat Ridge, Jefferson County, Colorado (Figure 1). WR2020 intends to sell the currently unoccupied property to a buyer who wants to use the building on the property as a bakery and restaurant (Wheat Ridge 2020 (WR2020) 2009). This Phase I includes a report on the current property conditions, a compilation of existing data, and a review of related information in federal, state, local, and Tribal environmental databases. The property reconnaissance was conducted by environmental professionals Jeremiah Ervin and John West (START) on October 06, 2009, and is documented in the project log book (URS Operating Services, Inc. (UOS) 2009).

1.1 PURPOSE

The purpose of this Phase I is to identify recognized environmental conditions in connection with the property. Specifically, the objectives of this Phase I are to:

- Conduct interviews with the present and past owners, operators, and occupants of the property;
- Conduct a property reconnaissance;
- Review historical data regarding property use and investigative activities that have been performed at and near the property;
- Characterize existing recognized environmental conditions related to the presence or likely presence of any hazardous substances or petroleum products that present a material risk of harm to public health or the environment; and

- Prepare a report, summarizing property issues that may require further investigation or action.

Recognized environmental conditions are defined in ASTM International standard E 1527-05 as the presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, groundwater, or surface water of the property. The term includes hazardous substances or petroleum products even under conditions in compliance with laws. The term is not intended to include *de minimis* conditions that generally do not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be *de minimis* are not recognized environmental conditions (ASTM International (ASTM) 2005).

1.2 DETAILED SCOPE OF SERVICES

The scope of this Phase I includes research and reporting requirements that support the TBA Grantees' desire to sell the property to a buyer who wants to use the property as a bakery and restaurant.

The scope of services follows standards documented in the ASTM Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process with ASTM International designation: E 1527-05 (ASTM 2005). This scope of services may be modified by EPA as more information regarding property conditions becomes available.

1.3 SIGNIFICANT ASSUMPTIONS, LIMITATIONS, AND EXCEPTIONS

No analytical data for any media at the property were available during this investigation. Assumptions are made using normal business practices as a guide to potential contamination.

2.0 PROPERTY DESCRIPTION

2.1 LOCATION AND LEGAL DESCRIPTION

The 7100/7150 West 38th Avenue property is located in Wheat Ridge, Jefferson County, Colorado (Figure 1). The property covers approximately 9,827 square feet and is bordered by residential

housing, commercial real estate, and Wheat Ridge Middle School (Figure 2). The legal description of the property is the northeast quarter of the northeast quarter of Section 26, T. 3 S., R. 69 W. (U.S. Geological Survey (USGS) 1994). The geographic coordinates of the property are 39° 46' 8.906" north latitude and 105° 4' 35.357" west longitude (USGS 1994).

2.2 PROPERTY AND VICINITY GENERAL CHARACTERISTICS

The 7100/7150 West 38th Avenue property currently exists with one building, which was probably built between the 1940s and 1950s, and a vacant asphalt parking lot (WR2020 2009). The last known current use of the property was for the Calvary Temple Christian Church, who had leased the property from the current owner, WR2020, until October 1, 2009 (Photo 16). Although there is a change in elevation on the property, all surface water on the property is diverted and collected into two stormwater drains on the south and east sides of the property or by stormwater drains located on West 38th Avenue and High Court. The property is located approximately 1 mile away from Clear Creek. Clear Creek does not pose a threat of flooding to the property (Federal Emergency Management Agency (FEMA) 2009).

The immediate land use within the vicinity consists of residential properties to the south (Photo 23), with mixed use and commercial use to the east, west, and north (Photos 14 and 15). Wheat Ridge Middle School, to the north of the property across West 38th Avenue, is on the former site of Wheat Ridge Senior/Junior High School, which was built in 1924. The former school buildings were demolished and Wheat Ridge Middle School was built on the same property in 1995 (WRMS 2009).

2.3 CURRENT USE OF THE PROPERTY

The 7100/7150 West 38th Avenue property currently exists with one building, which was thought to have been built between the 1940s and 1950s, and a vacant asphalt parking lot (WR2020 2009) (Photos 16, 17, and 20). The last known current use of the property was for the Calvary Temple Christian Church, who leased the property from the current owner WR2020. ESPRIT Cleaners, a Resource Conservation Recovery Act (RCRA) non-generator, occupied the property until 1996 (Appendix B). From information available, ESPRIT Cleaners apparently did not operate as a dry cleaning facility (Appendices B and C) (Environmental Data Resources, Inc. (EDR) 2009).

2.4 DESCRIPTIONS OF STRUCTURES, ROADS, AND OTHER SITE IMPROVEMENTS

Construction and operation of the building on the 7100/7150 property took place during a time period when lead-based paint, asbestos-containing building materials, and polychlorinated biphenyl (PCB) oils were commonly used in building construction and electrical components. The presence of lead-based paint and asbestos must be confirmed by analysis. Locations of materials likely to contain PCBs have been noted (UOS 2009).

The building is cement brick construction overlain with a painted stucco plaster (Photos 16 and 22). The interior of the building includes one main room that has a floating wooden floor and a ceiling made up of a variety of ceiling tiles, which contain Presumed Asbestos-Containing Material (PACM) (Photos 5, 7, and 12). The rest of the building includes a back room that has a bathroom and an empty drywalled utility room (Photo 2). The whole back room has a painted cement floor (Photo 13). The interior walls in the building are lathe and plastered and windows are glazed (PACM) (Photos 6, 8, 9, 11, and 21). There is a forced air furnace and a water heater on top of the utility room that supplies heat to the building (Photos 2 and 3). There are fluorescent light fixtures in the main room and back room (Photos 1, 4, and 5). The ballast on the fixture did not have information denoting the PCB content, indicating that it likely contains PCB oil; therefore, it must be considered to contain PCBs. All of the painted surfaces in the building are suspect for lead-based paint (Photos 9, 10, 11, and 13) (UOS 2009). The building uses the municipal water and sewer system. A schematic of the building is shown in Figure 3 of this report.

2.5 CURRENT USES OF THE ADJOINING PROPERTIES

Residential housing primarily makes up the property to the south of the 7100/7150 West 38th Avenue property (Photo 23) (Figure 2). Adjacent to the east, is A-1 Rental Services, which has a 500-gallon propane aboveground storage tank used to refill customers' barbecue propane tanks. The tank is inspected and certified on a routine basis and has never had any issues (A-1 Rental 2009) (Photo 15). To the west of the property are commercial buildings that are made up of little shops and vacant buildings that are for sale or lease. To the north, is Wheat Ridge Middle School, which in 1995 was built on the site of former school buildings that were built in 1924 (UOS 2009) (WRMS 2009). To the northeast across West 38th Avenue is Wheat Ridge Cyclery and commercial retail outlets (Photo 14).

3.0 TBA GRANTEE-PROVIDED INFORMATION

3.1 TITLE RECORDS

The property is currently owned by Wheat Ridge 2020, a community-based non-profit development corporation (WR2020 2009).

3.2 ENVIRONMENTAL LIENS OR ACTIVITY AND USE LIMITATIONS

There are no known environmental liens or activity and use limitations on this property or delinquent property taxes (WR2020 2009).

3.3 SPECIALIZED KNOWLEDGE

No specialized knowledge about potential contamination at the site was provided by the TBA grantee.

3.4 COMMONLY KNOWN OR REASONABLY ASCERTAINABLE INFORMATION

No information was reported concerning past activities or practices at the property that could have resulted in potential issues of contamination (WR2020 2009).

3.5 VALUATION REDUCTION FOR ENVIRONMENTAL ISSUES

There are no known property valuation reduction issues known for this property (WR2020 2009).

3.6 OWNER, PROPERTY MANAGER, AND OCCUPANT INFORMATION

No special information was provided by the property owner. The property is currently unoccupied.

3.7 REASON FOR PERFORMING PHASE I

Wheat Ridge 2020 intends to sell the 7100/7150 West 38th property to a buyer who wants to use the current building on the property as a bakery and restaurant (WR2020 2009).

4.0 RECORDS REVIEW

Records reviewed included an Environmental Data Resources, Inc. (EDR) Radius Map with GeoCheck®, a Sanborn Map search, and a Historical Topographic Map report (Appendix C). A complete copy of the federal, state, and local database search results is included as Appendix C.

4.1 STANDARD ENVIRONMENTAL RECORD SOURCES

The following databases were searched for information about the 7100/7150 38th Avenue property within the distances listed in Table A.

TABLE A
Search Distances for Databases

Source	Approximate Search Distance (miles)
Federal NPL List	1.0
Federal Delisted NPL site list	1.0
Federal CERCLIS List	0.5
Federal CERCLIS NFRAP site list	0.5
Federal RCRA CORRACTS facilities list	1.0
Federal RCRA non-CORRACTS TSD facilities list	0.5
Federal RCRA generators list	0.25
Federal institutional control/engineering control registries	0.5
Federal ERNS list	property only
State and Tribal landfill and/or solid waste disposal site lists	0.5
State and Tribal leaking storage tank lists	0.5
State and Tribal registered storage tank lists	0.25
State and Tribal voluntary cleanup sites	0.5
State and Tribal Brownfields sites	0.5

NPL	National Priority List
CERCLIS	Comprehensive Environmental Response, Compensation, and Liability Information System
NFRAP	No Further Remedial Action Planned
RCRA	Resource Conservation and Recovery Act
CORRACTS	Facilities subject to corrective action under RCRA.
TSD	Hazardous Waste Treatment, Storage, or Disposal
ERNS	Emergency Response Notification System

4.1.1 Federal NPL List

No federal NPL sites are located within one mile of the 7100/7150 West 38th Avenue property.

4.1.2 Federal Delisted NPL Site List

No federal delisted NPL sites are located within one mile of the 7100/7150 West 38th Avenue property.

4.1.3 Federal CERCLIS List

No federal CERCLIS sites are located within one-half mile of 7100/7150 West 38th Avenue property.

4.1.4 Federal CERCLIS NFRAP Site List

No federal CERCLIS NFRAP sites are located within one-half mile of 7100/7150 West 38th Avenue property.

4.1.5 Federal RCRA CORRACTS Facilities List

No federal RCRA CORRACTS facilities are located within one mile of the 7100/7150 West 38th Avenue property.

4.1.6 Federal RCRA non-CORRACTS TSD Facilities List

No federal RCRA non-CORRACTS TSD facilities are located within one-half mile of the 7100/7150 West 38th Avenue property.

4.1.7 Federal RCRA Generators List

No federal RCRA Generator sites are located within one-quarter mile of the 7100/7150 West 38th Avenue property.

4.1.8 Federal Institutional Control/Engineering Control Registries

No federal institutional control/engineering control registries were identified within one-half mile of the 7100/7150 West 38th Avenue property.

4.1.9 Federal ERNS List

No federal ERNS sites were identified on the 7100/7150 West 38th Avenue property.

4.1.10 State and Tribal Landfill and/or Solid Waste Disposal Site Lists

No State and Tribal Landfill and/or Solid Waste Disposal sites are located within one-half mile of the 7100/7150 West 38th Avenue property.

4.1.11 State and Tribal Leaking Storage Tank Lists

Ten Leaking Underground Storage Tanks (LUST) including five LUSTs in Colorado's Petroleum Storage Tank Fund (LUST TRUST) were identified within one-half mile of the 7100/7150 West 38th Avenue property.

LUSTs:

- Bradley Oil #5 – 7403 West 38th Avenue
- Bradley Food Mart – 7403 West 38th Avenue
- Midas Muffler – 3805 Wadsworth Boulevard
- Texaco – 3790 Wadsworth Boulevard
- Conoco – 3790 Wadsworth Boulevard
- Friendly Ford Inc. – 3765 Wadsworth Boulevard
- Amoco – 3900 Wadsworth Boulevard
- Bradley #22 – 6875 West 38th Avenue
- S&R Automotive – 6695 West 38th Avenue
- Auto Truck & RV Repair – 7200 West 44th Avenue

LUST TRUSTs:

- Bradley Food Mart – 7403 West 38th Avenue
- Texaco – 3790 Wadsworth Boulevard
- Conoco – 3790 Wadsworth Boulevard
- Bradley #22 – 6875 West 38th Avenue
- S&R Automotive – 6695 West 38th Avenue

Nine of the LUSTs identified by the EDR Radius Map with GeoCheck[®] are not likely of concern to the 7100/7150 West 38th Avenue property due to the LUSTs being down gradient from the 7100/7150 West 38th Avenue property. Groundwater flow direction in the area flows to the northeast towards Clear Creek thus any groundwater contamination from any of these nine LUSTs would likely miss the property (Appendix C). The non-down gradient LUST (3765 Wadsworth Blvd.) was emplaced in the Denver Formation and Arapahoe Formation which underlie the Clear Creek alluvium (Robson and Banta 1985). The Denver Formation and Arapahoe Formation have low hydraulic conductivities relative to the clear creek alluvium. Therefore hydrogeologic influences and potential groundwater contamination affecting the property from the LUST (3765 Wadsworth Blvd.) is not probable due to its occurrence in these less transmissive formations.

4.1.12 State and Tribal Registered Storage Tank Lists

Five Underground Storage Tanks (UST) and one Aboveground Storage Tank (AST) are located within a one-quarter mile of the 7100/7150 West 38th Avenue property.

4.1.13 State and Tribal Voluntary Cleanup Sites

There are no State or Tribal Voluntary Cleanup sites located within one-half mile of the 7100/7150 West 38th Avenue property.

4.1.14 State and Tribal Brownfields Sites

There are no State or Tribal Brownfield sites within one-half mile of the 7100/7150 West 38th Avenue property.

4.2 PHYSICAL SETTING INFORMATION SOURCES

4.2.1 Topographic Characteristics

The 7100/7150 West 38th Avenue property slopes gently to the north towards West 38th Avenue and consists primarily of an asphalt parking lot that has two stormwater drains and a building that was built between 1940 and 1950, that most recently was used as a church (Photo 18 and 19) (Figure 2). The elevation of the property is approximately 5,437 above sea level (Appendix C). The climate in the Wheat Ridge, Colorado, area is semiarid. The mean annual precipitation as totaled from the University of Delaware (UD) database is 15 inches. The net annual precipitation as calculated from precipitation and evapotranspiration data obtained from the UD database is 0.83 (University of Delaware 1986). The 2-year, 24-hour rainfall event for the site area is approximately 1.5 inches (Dunne, Thomas, and Luna B. Leopold 1978).

4.2.2 Geology

The 7100/7150 West 38th Avenue property is located in the Colorado Piedmont section of the Great Plains physiographic province (Trimble 1980). The property overlies the Denver Basin and the surficial geological features are the Denver Formation and Arapahoe Formation. The Denver Formation is approximately 600 to 1,100 feet thick and consists of moderately consolidated, interbedded shale, claystone, siltstone, and sandstone, in which coal and fossilized plant remains are common (Robson and Banta 1985). The Arapahoe Formation consists of a 400 to 700-foot-thick sequence of interbedded conglomerate, sandstone, siltstone, and shale (Robson and Banta 1985).

The main soil type on and around the property is the Nunn-Urban land complex (USDA 1980). Nunn soils are deep and well-drained, and formed in calcareous, clayey material derived from mudstone and shale. Permeability is slow with a high water capacity (Bureau Veritas (BV) 2007).

The property is covered by an asphalt parking lot with a building structure and two stormwater drains. Since the property is impermeable, surface water flows rapidly off the property to the north east toward Clear Creek or to the two stormwater drains located on the property (Figure 2).

4.2.3 Hydrogeology

The Denver Basin is composed of aquifers, or water bearing formations, that lie one on top of the other in layers. Between the layered aquifers, there is a confining layer. This confining layer isolates the individual aquifers from each other. There is groundwater in the aquifers underlying the land in the Denver Basin. The groundwater was deposited millions of years ago when the Denver Basin was formed. Because of the nature of the confining layers and because of the limited connection between these aquifers and surface water, the groundwater in the aquifers is not renewable. When the groundwater is used, it is being mined or used up without any replacement (Colorado Division of Water Resources (CDWR)2009). Groundwater in the Denver Basin is found in four sequential aquifers: the Dawson Aquifer (0 to 600 feet in depth), the Denver Aquifer (0 to 800 feet in depth), the Arapahoe Aquifer (0 to 400 feet in depth), and the Laramie-Fox Hills Aquifer (0 to 300 feet in depth) (Robson 1987).

4.2.4 Hydrology

The 7100/7150 West 38th Avenue property topography, based off the declining slope in elevation to the northeast, shows that surface water flows northeast to Clear Creek, which is approximately one mile north of the property. The property is covered by an asphalt parking lot with a building structure and two stormwater drains. The property is impermeable, thus surface water flows rapidly off the property to the northeast toward Clear Creek or to the two stormwater drains located on the property (Figure 2).

4.3 HISTORICAL USE INFORMATION ON THE PROPERTY

The current building on the property was thought to have been built between 1940 and the 1950s. ESPRIT Cleaners, a RCRA non-generator, used the property in 1994 (EDR 2009) (Appendix C).

A Sanborn map search was performed by EDR for the 7100/7150 West 38th Avenue property. One fire insurance map was found dating 1967. The fire insurance map shows a building on the west side

of the current building that was used as a store on the property; presently this building is an asphalt paved parking lot. The building currently on the property was also used as a store in 1967 (Appendix C). A records search with the city of Wheat Ridge's Development and Zoning department discovered building permits for the building located on the 7150 West 38th Avenue property. The building permits dated February 22, 1972. The building permit description noted "repair for fire damage and general remodeling". The property was owned by Dee J. Byrnes who utilized the property for his business, J. D. Industrial Insulation Inc.. A detailed building sketch is shown in Appendix B. A records search with the Jefferson County Planning and Zoning Division was not able to come up with any better information for the property within this time period.

4.4 HISTORICAL USE INFORMATION ON ADJOINING PROPERTIES

The city of Wheat Ridge was founded as a community in 1859. It was a farming community that supported Denver and nearby mining communities, and became the largest producer of carnations worldwide until the mid-20th century. Wheat Ridge did not incorporate until August 1969, when it was faced with annexation by surrounding cities (Wikipedia 2009).

A Sanborn map search was performed by EDR for the 7100/7150 West 38th Avenue property. One fire insurance map was found dating 1967. The fire insurance map shows an apartment building complex south of the property. North of the property across West 38th Avenue is Wheat Ridge Middle School on the former site of Wheat Ridge Senior/Junior High School, which was built in 1924, and a dry cleaner and commercial stores; east of the property were commercial stores and a paint shop; west of the property were commercial stores (glazing store, and a wholesale rug store) (Appendix C).

5.0 PROPERTY RECONNAISSANCE METHODOLOGY AND LIMITING CONDITIONS

The property reconnaissance was conducted by environmental professionals Jeremiah Ervin and John West (START) on October 6, 2009, and is documented in the project log book (URS Operating Services, inc. (UOS) 2009). The weather was sunny with partly overcast blue skies. The temperature ranged in the mid 50s during the reconnaissance; therefore, there were satisfactory conditions for inspection of the soil surface for staining and other signs of surface contamination.

Photo documentation is presented in Appendix A. The information that was gathered has been incorporated into the appropriate sections and referenced accordingly.

6.0 INTERVIEWS

Interviews were conducted with Chuck Redig, the owner of A-1 Rental, which is across the street from the subject property, and with Denise Balkas who is the Director of Real Estate for Wheat Ridge 2020, the owner of the property. The interviews conducted for this property have been incorporated into the appropriate sections and referenced accordingly throughout this report.

7.0 FINDINGS

Environmental conditions that could pose a threat to human health or the environment were identified during this investigation. The areas of concern are as follows:

1. The building was constructed some time between 1940 to 1970, a period that saw widespread use of asbestos in building materials. During the reconnaissance START observed construction materials that are presumed asbestos-containing materials including, but not limited to, ceiling tiles, drywall, lathe and plaster, and window glazing.
2. The building was constructed and operated during the period prior to the 1978 lead-based paint ban, a period that saw widespread use of lead-based paint on buildings. During the site visit START observed white and yellow tinted paint that commonly indicates that lead-based paint is present in the building.
3. Fluorescent light ballasts are present in the building on the property. Given that the ballasts are not marked to indicate that they are PCB-free it is probable that they contain PCB-containing oils.

8.0 OPINION

Based on the observations from the reconnaissance, the building on the property may present a hazard to human health due to asbestos-containing building materials, lead-based paint, and PCB-containing oils. These hazards are especially relevant if demolition or renovation activities take place on the property.

9.0 CONCLUSIONS

START has performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527 of the 7100/7150 West 38th Avenue property in Wheat Ridge, Jefferson County, Colorado. Exceptions to, or deletions from, this practice are described in Section 9.0, Deviations, of this report. This assessment has revealed the following recognized environmental conditions in connection with the property:

1. Presumed asbestos-containing materials (PACM) were observed in the building. The materials in question have not been tested to confirm if they contain asbestos. If the materials do contain asbestos, they must be properly managed and/or disposed. PACM may present a significant hazard to the health of on-site workers participating in demolition or renovation activities. Discovery of asbestos in the building may subject employers to Occupational Safety and Health Administration (OSHA) regulations regarding working in an environment containing asbestos.
2. Possible lead-based paint was observed in the building. The paints in question have not been tested to confirm if they contain lead. If the materials contain lead, they must be properly managed and/or disposed. Lead-based paint may present a significant hazard to the health of workers participating in demolition or renovation activities.
3. The fluorescent light ballasts on property may contain PCBs and must be disposed of properly.

Recommendations for Phase II activities based on the above-listed conditions are detailed in Table B below.

TABLE B
Recommendations for Phase II Activities for Each Recognized Environmental Condition

Recognized Environmental Condition	Recommendation
Possible Asbestos-Containing Material	Building materials must be evaluated for asbestos content, and managed or disposed of properly.
Lead-Based Paint	Painted surfaces must be evaluated for lead content, and managed or disposed of properly.
PCBs	If the fluorescent light ballasts should fail, appropriate arrangements should be made to dispose of the ballasts properly. The EPA suggests arrangements for disposal to be made by PCB transporters or PCB commercial stores for shipment of ballast, PCB-soiled items, or fluorescent fixtures containing PCBs to an EPA-approved chemical waste processing site (EPA 2009).

10.0 DEVIATIONS

No deviations occurred during this Phase I Environmental Site Assessment.

11.0 ADDITIONAL SERVICES

No additional services were conducted as a part of this Phase I Environmental site Assessment.

12.0 LIST OF REFERENCES

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Robson, S. G. 1987. "Bedrock Aquifers in the Denver Basin, Colorado—A Quantitative Water Resources Appraisal." Prepared for U.S. Geological Survey. U.S. Government Printing Office, 1987.

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University of Delaware, Center for Climate Research, Department of Geography. 1986. Terrestrial Water Budget Data Archive; Version 1.01, compiled by C. J. Willmott and C. M. Rowe.

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Wheat Ridge 2020 (WR2020). 2009a. Personal communication between Jeremiah Ervin of START with Denise Balkas, Director of Real Estate. September 29, 2009.

Wheat Ridge Middle School (WRMS). 2009. Wheat Ridge Middle School, Facility Overview. <http://jeffco.k12.co.us/middle/wrms/about/index.htm>. October 14, 2009.

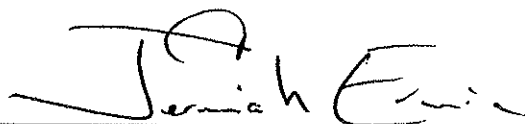
Wikipedia. 2009. Wheat Ridge, Colorado, History. http://en.wikipedia.org/wiki/Wheat_Ridge,_Colorado. May 29, 2009.

**13.0 ENVIRONMENTAL PROFESSIONAL'S QUALIFICATIONS, STATEMENT,
AND SIGNATURE**

This work was conducted by an environmental professional as specified in Section 7.5.1 of E 1527-05 and defined pursuant to 40 CFR.10 (ASTM 2005).

Jeremiah Ervin has a Baccalaureate or higher degree from an accredited institution of higher education in a discipline of engineering or science and the equivalent of five (5) years of full-time relevant experience such as participation in the performance of all appropriate inquiries investigations, environmental site assessments or other site investigations including environmental analyses, investigations, and remediation, which involve the understanding of surface and subsurface environmental conditions and the processes used to evaluate these conditions and for which professional judgment was used to develop opinions regarding conditions indicative of releases or threatened releases (see 312.1(c)) to the subject property. Jeremiah Ervin remains current in his field through participation in continuing education or other activities.

I declare that, to the best of my professional knowledge and belief, I meet the definition of environmental professional as defined in 312.10 of 40 CFR 312. I have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. I have developed and performed all appropriate inquiry in conformance with the standards and practices set forth in 40 CFR Part 312.



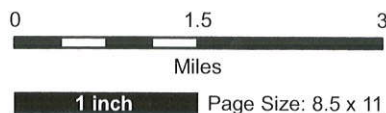
Date:

11/10/2009

Jeremiah Ervin, Environmental Scientist



Projection System:
 Universal Transverse
 Mercator Zone 13 North
 North American Datum 1983



TDD Title: **Wheat Ridge 7100/7150
 West 38th Avenue
 Phase 1 TBA**

Figure: 1

Figure Title: Property Location Map

TDD County: JEFFERSON
 TDD State: CO

TDD: 0909-08
 Date: 11/2009

URS
 OPERATING SERVICES

Sources:
 Terra Server 1968





Projection System:
 Universal Transverse
 Mercator Zone 13 North
 North American Datum 1983

0 100 200
 Feet

1 inch Page Size: 8.5 x 11

TDD Title: **Wheat Ridge 7100/7150
 West 38th Avenue
 Phase 1 TBA**

Figure: 2

Figure Title: Property Details Map

TDD County: JEFFERSON

TDD State: CO

TDD: 0909-08

Date: 11/2009

URS
 OPERATING SERVICES

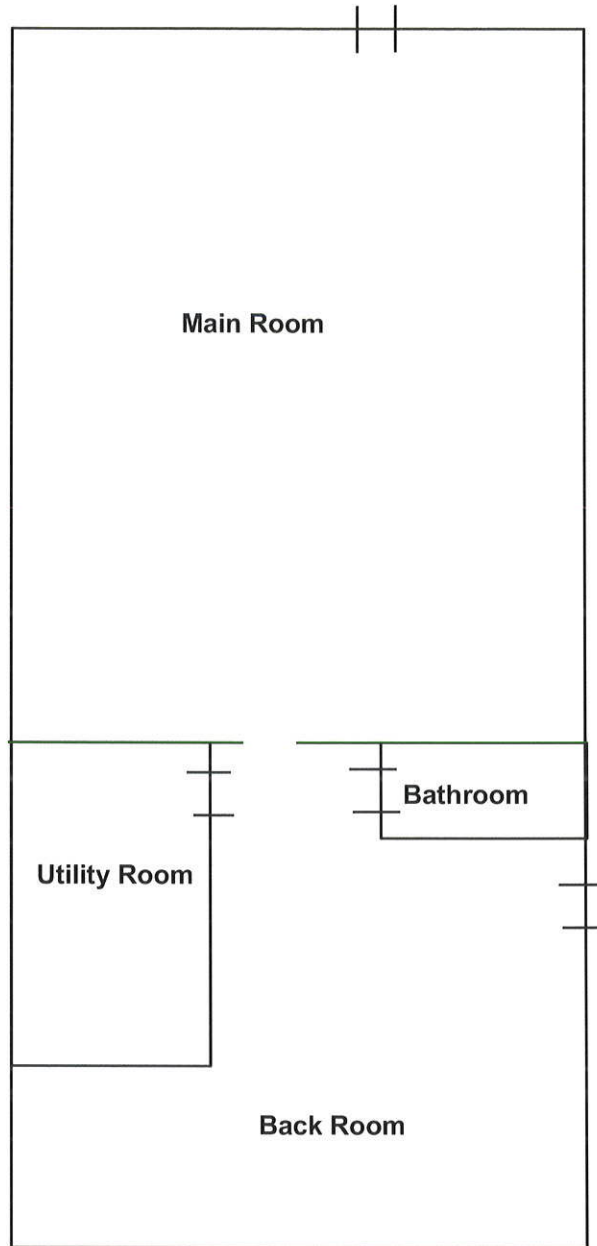


Sources:
 City of Wheat Ridge GIS 2008

W. 38th Ave.

Parking Lot

High Ct.



Legend

|| Doors

Projection System:
Universal Transverse
Mercator Zone 13 North
North American Datum 1983

0 10 20
Feet

1 inch Page Size: 8.5 x 11



TDD Title: **Wheat Ridge 7100/7150
West 38th Avenue
Phase 1 TBA**

Figure: 3

Figure Title: **7100 W 38th Avenue
Building Schematic**

TDD County: JEFFERSON

TDD State: CO

TDD: 0909-08

Date: 11/2009

URS
OPERATING SERVICES

Sources:
Digital Globe 2006



APPENDIX A

Project Photolog

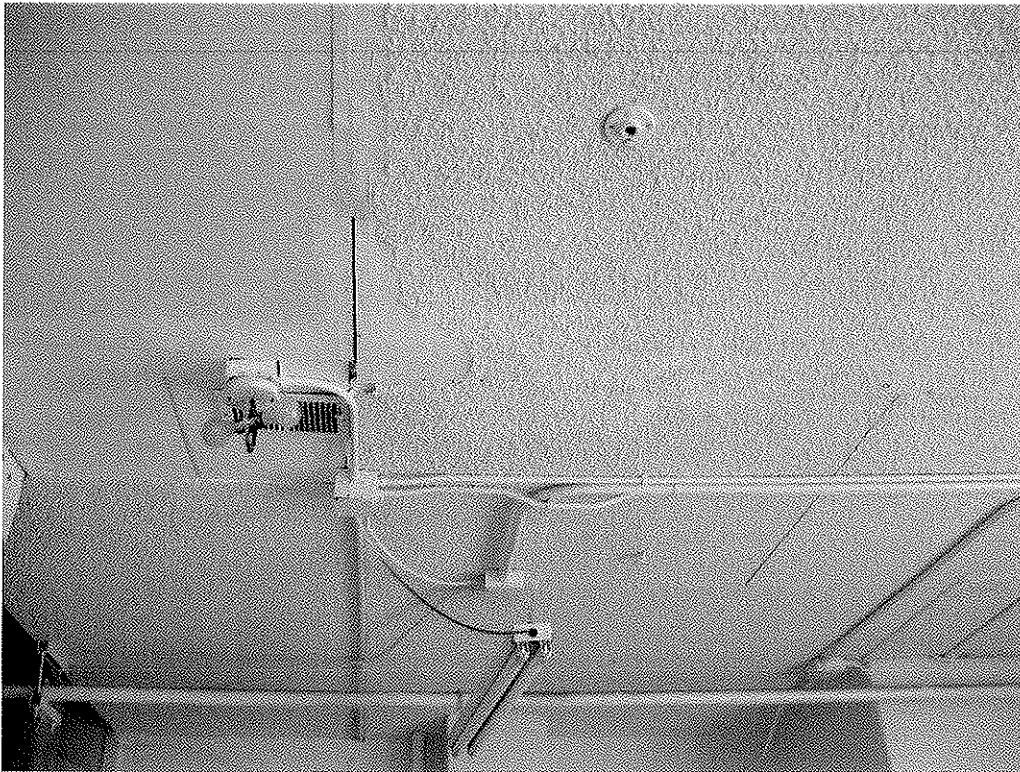


PHOTO 1
View of PACM sprayed-on ceiling material.

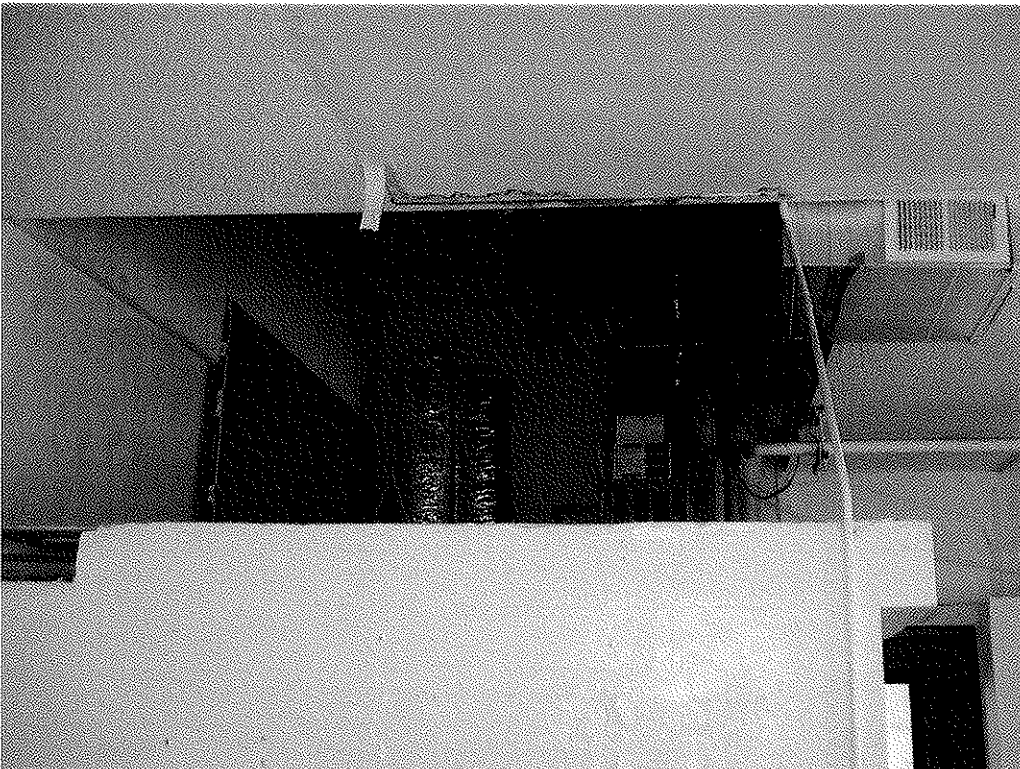


PHOTO 2
Looking at HVAC area and fiberglass insulation above the utility room.



PHOTO 3
View of HVAC piping with no insulation.



PHOTO 4
Fluorescent lighting with potential PCB ballast.



PHOTO 5

Fluorescent lighting with potential PCB ballast.



PHOTO 6

View of glaze on windows in the main room.



PHOTO 7

Landscape view of the main area in the main room.

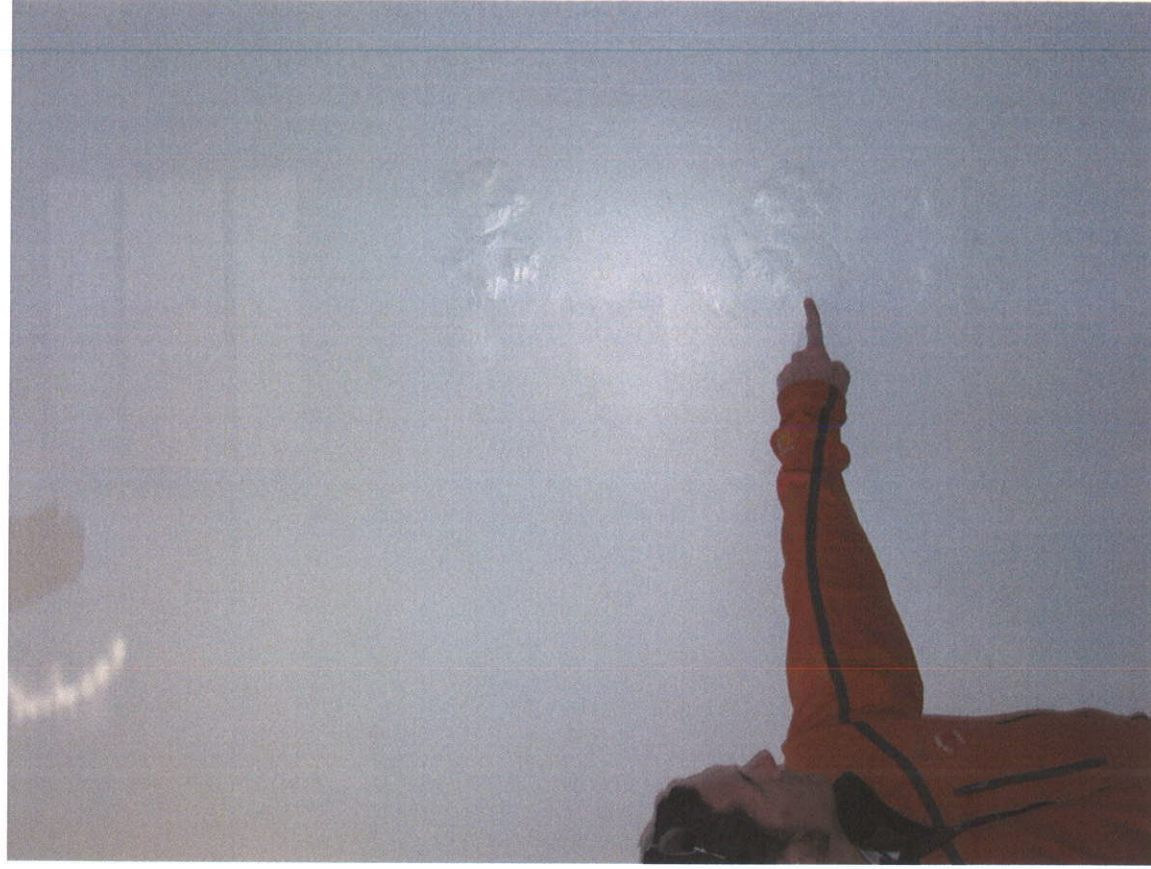


PHOTO 8

John West (START) pointing to patching on the south main wall.



PHOTO 9
View of PACM surface texture.



PHOTO 10
Suspected lead-based paint with cracks near the storage room below the HVAC.

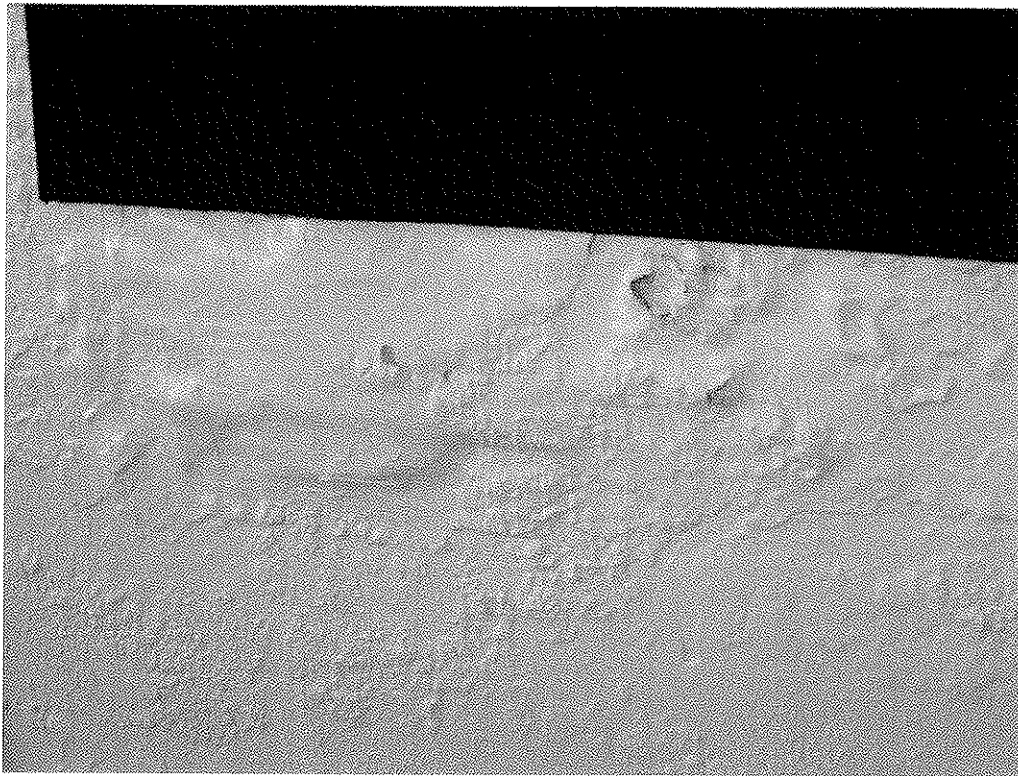


PHOTO 11
Patch work on the south window.



PHOTO 12
View of PACM sprayed-on ceiling material.



PHOTO 13

Suspected lead-based paint on the floor in the back room.



PHOTO 14

Wheat Ridge Cyclery northeast of the 7100/7150 West 38th Avenue property.



PHOTO 15

A1 Rental Service across the street to the east of the property at 7100/7150 West 38th Avenue.



PHOTO 16

View of the front of the building at 7100 West 38th Avenue that was leased to Calvary Temple Christian Church.



PHOTO 17

View to the south of a parking area at 7150 West 38th Avenue.



PHOTO 18

John West (START) getting the GPS coordinates of a surface water drain in the alleyway directly south of the property. Photo looking west.



PHOTO 19

View to the west down the alleyway with 7100/7150 West 38th Avenue properties in view.

Stormwater Drain (under the pickup truck).

Stormwater Drains



PHOTO 20

View of 7150 West 38th Avenue from the alley looking north toward West 38th Avenue.



PHOTO 21

PACM window glazing on the windows of the building at 7100 West 38th Avenue.



PHOTO 22

Suspected lead-based paint is on the outside of the building at 7100 West 38th Ave. John West (START) is using the GPS at the corner of the building.



PHOTO 23

View of 3785 High Court, residential housing, across the alley
View of 3785 High Court, residential housing, across the alley

APPENDIX B

City of Wheat Ridge Community Development Department Building Permits

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING INSPECTION LINE - 303-234-5933

Building Permit Number: 5083

Date: 1/30/03

CITY OF WHEAT RIDGE
7500 WEST 29TH AVENUE
WHEAT RIDGE, CO 80215 - (303-235-2855)

Property Owner: W. 38TH AVE. PARTNERSHIP
Property Address: [REDACTED]
Contractor License No.: 19805

Phone: 748-5725

Company: KSD CONSTRUCTION

Phone: 748-5725

OWNER/CONTRACTOR SIGNATURE OF UNDERSTANDING AND AGREEMENT

I hereby certify that the setback distances proposed by this permit application are accurate, and do not violate applicable ordinances, rules or regulations of the City of Wheat Ridge or covenants, easements or restrictions of record; that all measurements shown, and allegations made are accurate; that I have read and agree to abide by all conditions printed on this application, and that I assume full responsibility for compliance with the Wheat Ridge Building Code (U.B.C.) and all other applicable Wheat Ridge ordinances, for work under this permit.

(OWNER)(CONTRACTOR) SIGNED: _____ DATE: _____

Construction Value:

Permit Fee:

Plan Review Fee: \$0.00

Use Tax: \$0.00

Total: \$0.00

Use:

Description: DUMPSTER ENCLOSURE

BUILDING DEPARTMENT USE ONLY

Zoning Comments:

Approval: MP
Zoning: C-1

SIC: Sq. Ft.:

OK. PROVIDED NO PARKING STALLS ARE LOST.

Entirety Comments:

1/30/03

Approval: BG

Public Works Comments:

Approval:

Occupancy:

Walls:

Roof:

Stories:

Residential Units:

Electrical License No.:

Plumbing License No.:

Mechanical License No.:

Company:

Company:

Company:

Expiration Date:

Expiration Date:

Expiration Date:

Approval:

Approval:

Approval:

- (1) This permit was issued in accordance with the provisions set forth in your application and is subject to the laws of the State of Colorado and to the Zoning Regulations and Building Code of Wheat Ridge, Colorado or any other applicable ordinances of the City.
- (2) This permit shall expire if (A) the work authorized is not commenced within sixty (60) days from issue date or (B) the building authorized is suspended or abandoned for a period of 120 days.
- (3) If this permit expires, a new permit may be acquired for a fee of one-half the amount normally required, provided no changes have been or will be made in the original plans and specifications and any suspension or abandonment has not exceeded one (1) year. If changes are made or if suspension or abandonment exceeds one (1) year, full fees shall be paid for a new permit.
- (4) No work of any manner shall be done that will change the natural flow of water causing a drainage problem.
- (5) Contractor shall notify the Building Inspector twenty-four (24) hours in advance for all inspections and shall receive written approval on inspection card before proceeding with successive phases of the job.
- (6) The issuance of a permit or the approval of drawings and specifications shall not be construed to be a permit for, nor an approval of, any violation of the provisions of the building codes or any other ordinance, law, rule or regulation.

[Signature]
Chief Building Inspector



COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING INSPECTION LINE - 303-234-5933
CITY OF WHEAT RIDGE
7500 WEST 29TH AVENUE
WHEAT RIDGE, CO 80215 - (303-235-2855)

Building Permit Number:
Date:

APPLICATION

Property Owner: ~~West 38th Avenue Partnership~~
Property Address: 7100 W. 38th Avenue, Wheat Ridge, CO
Contractor License No.: 19805
Company: KSD Construction, LLC
Phone: 303-744-5725
Phone: 303-744-5725

OWNER/CONTRACTOR SIGNATURE OF UNDERSTANDING AND AGREEMENT

I hereby certify that the setback distances proposed by this permit application are accurate, and do not violate applicable ordinances, rules or regulations of the City of Wheat Ridge or covenants, easements or restrictions of record; that all measurements shown, and allegations made are accurate; that I have read and agree to abide by all conditions printed on this application and that I assume full responsibility for compliance with the Wheat Ridge Building Code (U.B.C.) and all other applicable Wheat Ridge Ordinances, for work under this permit.

(OWNER/CONTRACTOR) SIGNED: *[Signature]* DATE: 1/29/03

Construction Value:\$	_____
Permit Fee:\$	_____
Plan Review Fee:\$	_____
Use Tax:\$	_____
Total:\$	_____

DESCRIPTION:

trash dumpster enclosure

BUILDING DEPARTMENT USE ONLY				
ZONING COMMENTS:	SIC:		Sq.Ft.:	
Approval: OK 1/30/03				
Zoning: C-1	Provided no parking stalls are lost.			
BUILDING COMMENTS:				
Approval: 1/30/03 BC				
PUBLIC WORKS COMMENTS:				
Approval:				
Occupancy:	Walls:	Roof:	Stories:	Residential Units:

Electrical License No:
Company:

Plumbing License No:
Company:

Mechanical License No:
Company:

Expiration Date:
Approval:

Expiration Date:
Approval:

Expiration Date:
Approval:

- (1) This permit was issued in accordance with the provisions set forth in your application and is subject to the laws of the State of Colorado and to the Zoning Regulations and Building Codes of Wheat Ridge, Colorado or any other applicable ordinances of the City.
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- (4) No work of any nature shall be done that will change the natural flow of water causing a drainage problem.
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- (6) The issuance of a permit or the approval of drawings and specifications shall not be construed to be a permit for, nor an approval of, any violation of the provisions of the building codes or any other ordinance, law, rule or regulation.

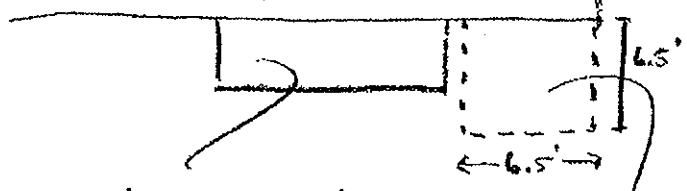
[Signature]

Chief Building Inspector

HIGH COURT



7100
W.
38th Avenue

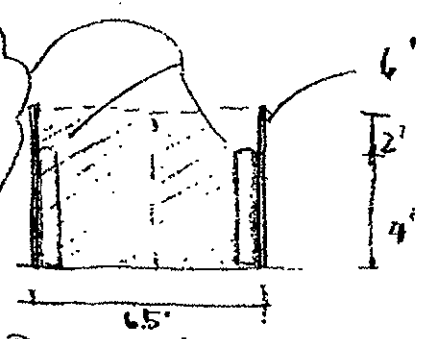


existing equipment enclosure

PLAN VIEW

Proposed dumpster enclosure

Minimum
4" diameter steel
pipe bollards filled
w/ concrete



Profile View

6' chain link fence w/ 2
gates, using screening
materials

KSD Construction, LLC
3866 Union Court
Wheat Ridge, Colorado 80033
303-748-5725

FAX TRANSMISSION

To: Cindy Hagerman Date: 1/29/03 Time: 9:35 am/pm

Fax Number: (303) 235-2857 No. of Pages: 3 Please confirm: Yes

From: Dan Schneider Return Fax No. (303) 456-7683

Remarks: Cindy

Here's a copy of the permit for the
710 West 38th Avenue dumpster enclosure. Let me
know if this is ok so I can schedule construction.

Thank you!

Dan Schneider

303-748-5725

This message is intended for the use of the individual or entity to which it is addressed, and may contain information that is **PRIVILEGED and CONFIDENTIAL**. If you are not the intended recipient or the employee or agent responsible for delivering the message to the intended recipient and have received this information in error, you are hereby notified that dissemination, distribution or copying of the information is prohibited. Please call us at once and return the original message to us at the address at the top of this page via the U. S. Postal Service. Thank you.

PERMIT No. 002-96

CITY OF WHEAT RIDGE
7500 West 29th Avenue
Wheat Ridge, CO 80215
Phone 235-2861



RIGHT OF WAY PERMIT

Wheat Ridge Code of Laws Section 21-101

Permission is hereby granted to: MARY ANN HEUTON DBA ESPRIT CLEANERS
Permittee's address: 7100 W. 38th Avenue Wheat Ridge, CO 80033
Permittee's phone No.: 303-424-2757
To place a structure or intrusion on City of Wheat Ridge right of way as indicated below:

Briefly list reasons for encroachment:

To Accommodate Dumpster and Shelter for Dumpster
To Accommodate Air Compressor and Shelter for Compressor

City Engineer's comments:

The undersigned, by his signature, acknowledges that he is: An authorized representative of the permittee; that the permittee is familiar with and agrees to comply with current regulations of the City of Wheat Ridge applicable to the permit granted herewith; that any gross misrepresentations or false statements appearing herein shall automatically cause this permit to be null and void in its entirety; and he hereby releases the City of Wheat Ridge from any liability which may arise from the issuance of the right of way encroachment permitted hereon.

The term of this Right of Way Permit is:

Date of Issue: 7-18-96

Expiration Date: 7-18-99

The term of a Right of Way Permit shall be in accordance with section 21-102 of the City of Wheat Ridge Code of Laws. The City may, with 90 days written notice, terminate this permit. The Permittee herein agrees the City shall not be held liable for any costs incurred by the Permittee resulting from such termination:

Robert E. Gabel
City Engineer

7/18/96
Date

Mary Ann Heuton
Permittee

7-17-96
Date

DEPARTMENT OF PLANNING AND DEVELOPMENT Building Permit Number 3824
BUILDING INSPECTION DIVISION - 235-2855
CITY OF WHEAT RIDGE
7500 WEST 29TH AVENUE
WHEAT RIDGE, CO 80215

Date: 9/11/96

Property Owner:
Property Address: 7100 38TH AV
Contractor License No.: 17999
Company: Neighborhood Electric

Phone:

Phone: 274 9971

OWNER/CONTRACTOR SIGNATURE OF UNDERSTANDING AND AGREEMENT

I hereby certify that the setback distances proposed by this permit application are accurate, and do not violate applicable ordinances, rules or regulations of the City of Wheat Ridge or covenants, easements or restrictions of record; that all measurements shown, and allegations made are accurate; that I have read and agree to abide by all conditions printed on this application, and that I assume full responsibility for compliance with the Wheat Ridge Building Code (U.B.C.) and all other applicable Wheat Ridge ordinances, for work under this permit.

(OWNER)(CONTRACTOR) SIGNED

[Signature]

DATE 9/11/96

Construction Value:	\$200.00
Permit Fee:	\$25.00
Plan Review Fee:	\$0.00
Use Tax:	\$2.40
Total:	\$27.40

Description: HOOKUP AIR COMPRESSOR

BUILDING DEPARTMENT USE ONLY

COMMENTS

Approval:

Zoning:

REMARKS

Approval:

ADDITIONAL COMMENTS

Approval:

Occupancy:

Walls:

Roof:

Stories:

Residential Units:

SIC: Sq. Ft.:

Electrical License No:
Company:

Plumbing License No:
Company:

Mechanical License No:
Company:

Expiration Date:

Expiration Date:

Expiration Date:

Approval:

Approval:

Approval:

PLUMBING

PLUMBING

PLUMBING

- (1) This permit was issued in accordance with the provisions set forth in your application and is subject to the laws of the State of Colorado and to the Zoning Regulations and Building Code of Wheat Ridge, Colorado or any other applicable ordinances of the City.
- (2) This permit shall expire if (A) the work authorized is not commenced within sixty (60) days from issue date or (B) the building authorized is suspended or abandoned for a period of 120 days.
- (3) If this permit expires, a new permit may be acquired for a fee of one-half the amount normally required, provided no changes have been or will be made in the original plans and specifications and any suspension or abandonment has not exceeded one (1) year. If changes are made or if suspension or abandonment exceeds one (1) year, full fees shall be paid for a new permit.
- (4) No work of any manner shall be done that will change the natural flow of water causing a drainage problem.
- (5) Contractor shall notify the Building Inspector twenty-four (24) hours in advance for all inspections and shall receive written approval on inspection card before proceeding with successive phases of the job.
- (6) The issuance of a permit or the approval of drawings and specifications shall not be construed to be a permit for, nor an approval of, any violation of the provisions of the building codes or any other ordinance, law, rule or regulation.

151 *[Signature]*
Chief Building Inspector

THIS PERMIT VALID ONLY WHEN SIGNED BY THE CHIEF BUILDING INSPECTOR AND MAYOR
CALL: 234-5933 24 HOURS PRIOR TO INSPECTION

DEPARTMENT OF PLANNING AND DEVELOPMENT Building Permit Number :
BUILDING INSPECTION DIVISION - 235-2855
CITY OF WHEAT RIDGE
7500 WEST 29TH AVENUE
WHEAT RIDGE, CO 80215

Date :

Property Owner : ESPR CLIMBERS
Property Address : 7190 W. 38th Ave
Contractor License No. : 17999
Company : NEIGHBORHOOD ELECTRIC, INC.

Phone :

Phone : 274-9971

OWNER/CONTRACTOR SIGNATURE OF UNDERSTANDING AND AGREEMENT

I hereby certify that the setback distances proposed by this permit application are accurate, and do not violate applicable ordinances, rules or regulations of the City of Wheat Ridge or covenants, easements or restrictions of record; that all measurements shown, and allegations made are accurate; that I have read and agree to abide by all conditions printed on this application, and that I assume full responsibility for compliance with the Wheat Ridge Building Code (U.B.C.) and all other applicable Wheat Ridge ordinances, for work under this permit.

(OWNER) (CONTRACTOR) SIGNED [Signature] DATE 9/18/96

Construction Value : 200.00
Permit Fee :
Plan Review Fee :
Use Tax :
Total :

Description :

ASR COMPRESSOR HOOK-UP

BUILDING DEPARTMENT USE ONLY

Zoning Comments:

Approval :

Zoning :

Building Comments:

Approval :

Public Works Comments:

Approval :

Occupancy :

Walls :

Roof :

Stories :

Residential Units :

SIC :

Sq. Ft. :

Electrical License No : 17999

Plumbing License No :

Mechanical License No :

Company : NEIGHBORHOOD ELECTRIC Company :

Company :

Expiration Date : 2/28/1997

Expiration Date :

Expiration Date :

Approval :

Approval :

Approval :

Plans Required

Plans Required

Plans Required

- (1) This permit was issued in accordance with the provisions set forth in your application and is subject to the laws of the State of Colorado and to the Zoning Regulations and Building Code of Wheat Ridge, Colorado or any other applicable ordinances of the City.
- (2) This permit shall expire if (A) the work authorized is not commenced within sixty (60) days from issue date or (B) the building authorized is suspended or abandoned for a period of 120 days.
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- (6) The issuance of a permit or the approval of drawings and specifications shall not be construed to be a permit for, nor an approval of, any violation of the provisions of the building code or any other ordinance, law, rule or regulation.

[Signature]
Chief Building Inspector

For Mayor

THIS PERMIT VALID ONLY WHEN SIGNED BY THE CHIEF BUILDING INSPECTOR AND MAYOR
CALL: 234-5933 24 HOURS PRIOR TO INSPECTION

7500 WEST 29th AVENUE
234-5933 P.O. BOX 638

DEPARTMENT OF COMMUNITY DEVELOPMENT
BUILDING INSPECTION DIVISION
CITY OF WHEAT RIDGE, COLO.

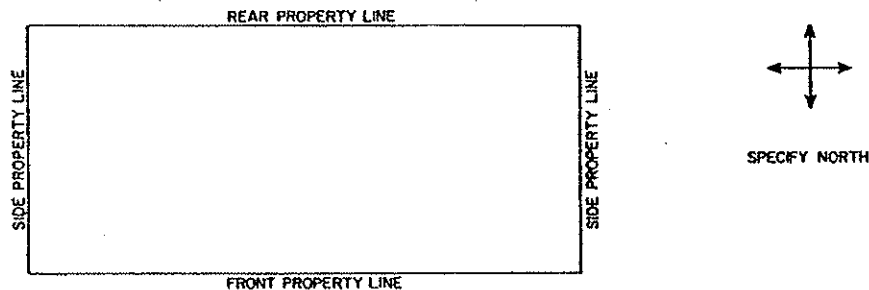
PERMIT NO. ME94#5742

THIS PERMIT VALID ONLY WHEN SIGNED BY THE CHIEF BUILDING INSPECTOR AND RECEIPTED BELOW.

APPLICATION FOR MISCELLANEOUS PERMIT
JOB ADDRESS 7100 W. 38th AVE OWNER ESPRESSO CUPPERS
CONTRACTOR NEIGHBORHOOD ELECTRICAL ADDRESS 7100 W. 38th AVE
ADDRESS 3585 MARSHALL ST. PHONE 424-2724 ZIP CODE 80033
CITY WHEAT RIDGE ZIP CODE 80033 CONTRACT PRICE \$ 200.00
PHONE 467-1801 LICENSE NO. 3528 DATE 4/13/94

SIGNS	1. TYPE	Ground <input type="checkbox"/>	Wall <input type="checkbox"/>	Projecting <input type="checkbox"/>	Other <input type="checkbox"/>	S or D Face <input type="checkbox"/>
	2. MATERIAL	Total Square Feet				
	3. ILLUMINATION	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Type	Elect. Permit No.	
	4. SET BACK FROM PROPERTY LINE	N <input type="checkbox"/>	S <input type="checkbox"/>	E <input type="checkbox"/>	W <input type="checkbox"/>	Zone <input type="checkbox"/> Approved, Zone Inspector <input type="checkbox"/> Disapproved
(Specify which is front)						
FENCES	1. TYPE	Solid <input type="checkbox"/>	More Than 80% Open <input type="checkbox"/>	Less Than 80% Open <input type="checkbox"/>	Height	
	2. MATERIAL	Zone <input type="checkbox"/> Approved, Zone Inspector <input type="checkbox"/> Disapproved				
	3. SET BACK FROM PROPERTY LINE	N <input type="checkbox"/>	S <input type="checkbox"/>	E <input type="checkbox"/>	W <input type="checkbox"/>	Zone <input type="checkbox"/> Approved, Zone Inspector <input type="checkbox"/> Disapproved
	(Specify which is front)					
OTHER	1.					
	2.					
	3.					

DRAW SKETCH OR SHOW BELOW, THE FENCE, SIGN, OR OTHER STRUCTURE, GIVING DISTANCES FROM PROPERTY LINES.
(SETBACKS OR PROJECTIONS INCLUDED)



STREET NAME

SHOW DISTANCES FROM THE MAIN BUILDING TO ADJOINING HOUSES, STREETS, AND PROPERTY LINES; ON IRREGULAR LOTS, SHOW LEAST DISTANCE TO PROPERTY LINES, NOT MAXIMUM OR AVERAGE DISTANCE.

APPLICATION FOR PLUMBING; ELECTRICAL; MECHANICAL PERMIT

THIS APPLICATION WILL BECOME A PERMIT TO PERFORM THE INDICATED WORK ONLY UPON VALIDATION BY THE BUILDING INSPECTION DIVISION.
PERMIT WILL EXPIRE 180 DAYS FROM THE DATE OF ISSUANCE IF WORK IS NOT STARTED WITHIN THAT TIME.

ELECTRICAL PERMIT		PLUMBING PERMIT							MECHANICAL PERMIT						
STATE LICENSE NO. <u>3528</u>		STATE LICENSE NO.													
ALUMINUM WIRE UNDER SIZE 8 ILLEGAL		FLOOR	BSMT	1ST	2ND	3RD	4TH	NO.	FUEL - Circle One	Gas	Oil	Propane	Cool	Elect	Solar
NO.		WATER CLOSET													
	TEMPORARY METER	WASH BOWL													
	NEW SERVICE - AMPS	BATH TUB													
	CHANGE SERVICE - AMPS	SHOWER													
	LIGHTING	SINK													
	HEATING	GARBAGE DISP.													
	POWER SUB-CIRCUITS	WATER HEATER													
	UTILITY (RANGE, DISPOSER, ETC.)	AUTO. WASHER													
	FIXTURES	DISH WASHER													
	WIRING MOTORS & CONTROLS	FLOOR DRAIN													
	SIGNS	URINAL													
	TRANSFORMERS & RECTIFIERS	SEWERS													
	ADDITION TO OLD WORK	OTHER													
	MOTORS OVER 1 HP	TOTAL FIXTURES													

REMARKS INSTALL CUPPERS FOR 2 SWAMP COOLERS

I hereby acknowledge that this application is correct and understand that I cannot start this project until this application is approved. I shall comply with the laws of the State of Colorado and to the Zoning Regulations and Building Code of the City of Wheat Ridge. Any violation of the above terms will cause immediate revocation of this permit

Harry Jordan
Applicants Signature

PERMIT FEE 25.00
USE TAX 2.40
TOTAL FEE \$ 27.40
APPROVED Jack E. Dace
CHIEF BUILDING INSPECTOR, City of Wheat Ridge

Date Issued 4/13/94

NOT VALID UNLESS RECEIPTED

RE-61451
41394
252322
CRK 1038

CALL 234-5933
24 HOURS IN ADVANCE
FOR INSPECTIONS

7500 WEST 29th AVENUE
234-5933 P.O. BOX 638

DEPARTMENT OF COMMUNITY DEVELOPMENT
BUILDING INSPECTION DIVISION
CITY OF WHEAT RIDGE, COLO.

PERMIT NO. MM94#4384

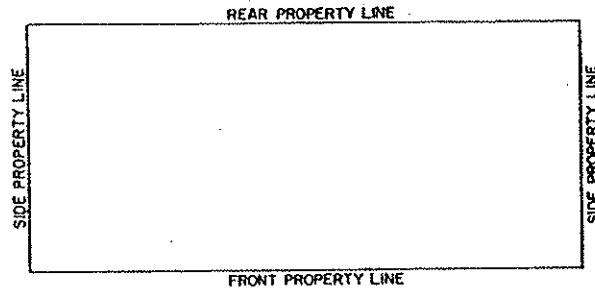
THIS PERMIT VALID ONLY WHEN SIGNED BY THE CHIEF BUILDING INSPECTOR AND RECEIVED BELOW.

APPLICATION FOR MISCELLANEOUS PERMIT

JOB ADDRESS 7100 W 38th OWNER MARYANN HEUTON
CONTRACTOR AMS SERVICE CO ADDRESS _____
ADDRESS 5790 W 56th # B PHONE 424-2757 ZIP CODE _____
CITY ARVADA ZIP CODE 80002 CONTRACT PRICE \$ 1975.00
PHONE 873-1965 LICENSE NO. 17288 DATE 4-1-94

SIGNS	1. TYPE	Ground <input type="checkbox"/>	Wall <input type="checkbox"/>	Protecting <input type="checkbox"/>	Other _____	S or D Face _____
	2. MATERIAL	Total Square Feet _____				
	3. ILLUMINATION	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Type _____	Elect. Permit No. _____	
	4. SET BACK FROM PROPERTY LINE	N _____	S _____	E _____	W _____	Zone _____
(Specify which is front) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>						
FENCES	1. TYPE	Solid <input type="checkbox"/>	More Than 80% Open <input type="checkbox"/>	Less Than 80% Open _____	Height _____	
	2. MATERIAL	Zone _____				
	3. SET BACK FROM PROPERTY LINE	N _____	S _____	E _____	W _____	Approved, Zone Inspector _____ Disapproved _____
(Specify which is front) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>						
OTHER	1. _____					
	2. _____					
	3. _____					

DRAW SKETCH OR SHOW BELOW, THE FENCE, SIGN, OR OTHER STRUCTURE, GIVING DISTANCES FROM PROPERTY LINES.
(SETBACKS OR PROJECTIONS INCLUDED)



STREET NAME _____

SHOW DISTANCES FROM THE MAIN BUILDING TO ADJOINING HOUSES, STREETS, AND PROPERTY LINES; ON IRREGULAR LOTS, SHOW LEAST DISTANCE TO PROPERTY LINES, NOT MAXIMUM OR AVERAGE DISTANCE.

APPLICATION FOR PLUMBING; ELECTRICAL; MECHANICAL PERMIT

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PERMIT WILL EXPIRE 180 DAYS FROM THE DATE OF ISSUANCE IF WORK IS NOT STARTED WITHIN THAT TIME.

ELECTRICAL PERMIT		PLUMBING PERMIT						MECHANICAL PERMIT					
STATE LICENSE NO. _____		STATE LICENSE NO. _____						FUEL: Circle One Gas Oil Propane Coal Elec Solar					
ALUMINUM WIRE UNDER SIZE 8 ILLEGAL		FLOOR	BSMT	1ST	2ND	3RD	4TH	NO.	FORCED AIR	-	BTU		
NO.		WATER CLOSET							HOT WATER	-	BTU		
TEMPORARY METER		WASH BOWL							STEAM	-	BTU		
NEW SERVICE - AMPS		BATH TUB							AIR CONDITIONING - BTU				
CHANGE SERVICE - AMPS		SHOWER							OTHER				
LIGHTING		SINK							REFRIGERATION SYSTEM				
HEATING		GARBAGE DISP.							Refrigerant Group				
POWER SUB-CIRCUITS		WATER HEATER							Pounds Charge				
UTILITY (RANGE, DISPOSER, ETC.)		AUTO. WASHER							AUTOMATIC SPRINKLER SYSTEM				
FIXTURES		DISH WASHER							ELEVATOR				
WIRING MOTORS & CONTROLS		FLOOR DRAIN											
SIGNS		URINAL											
TRANSFORMERS & RECTIFIERS		SEWERS											
ADDITION TO OLD WORK		OTHER											
MOTORS OVER 1 HP		TOTAL FIXTURES											

REMARKS _____

I hereby acknowledge that this application is correct and understand that I cannot start this project until this application is approved. I shall comply with the laws of the State of Colorado and to the Zoning Regulations and Building Code of the City of Wheat Ridge. Any violation of the above terms will cause immediate revocation of this permit.

[Signature]
Applicant's Signature

PERMIT FEE 43.00
USE TAX 23.70
TOTAL FEE \$ 66.70

APPROVED [Signature]
DISAPPROVED _____
CHIEF BUILDING INSPECTOR, City of Wheat Ridge

Date Issued 4-1-94

NOT VALID UNLESS RECEIPTED
R# 61245

[Stamp]
4-1-94
OK # 4650

CALL 234-5933
24 HOURS IN ADVANCE
FOR INSPECTIONS

ME93# 5564

8

INSPECTION TICKET

JOB ADDRESS 7100 W-38th

DATE: 11-2 BLDG. PERMIT# 5564

PERMIT#

BLDG. CONTR. Weigh- & led.

SUBCONTRACTOR

DATE INSP. REQ. 11-2

TYPE OF INSP. f. elec

INSPECTION MADE

REMARKS Not Ready

W.R. FORM 6-19

INSPECTION TICKET

JOB ADDRESS 7100 W-38th

DATE: 11-23 BLDG. PERMIT# 5564

PERMIT#

BLDG. CONTR. Weigh

SUBCONTRACTOR

DATE INSP. REQ. 11-23

TYPE OF INSP. f. elec f. H FP

INSPECTION MADE

REMARKS

W.R. FORM 6-19

12694

7500 WEST 29th AVENUE
234-5933 P.O. BOX 638DEPARTMENT OF COMMUNITY DEVELOPMENT
BUILDING INSPECTION DIVISION
CITY OF WHEAT RIDGE, COLO.

PERMIT NO. M93#19031

THIS PERMIT VALID ONLY WHEN SIGNED BY THE CHIEF BUILDING INSPECTOR AND RECEIPTED BELOW.

17 APPLICATION FOR MISCELLANEOUS PERMIT

JOB ADDRESS 7100 W 38th OWNER David Schneider

CONTRACTOR Darrell's S&S ADDRESS 2562 Taft Court

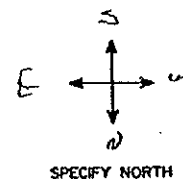
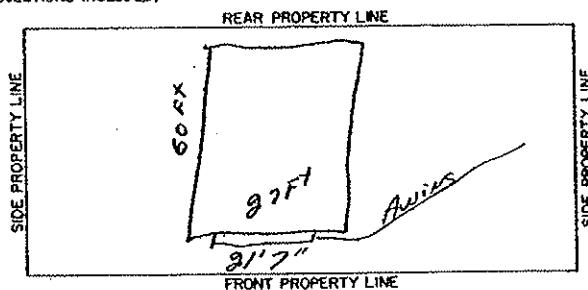
ADDRESS 5970 Sheridan Blvd PHONE 233-6883 ZIP CODE 80212

CITY Arvada ZIP CODE 80003 CONTRACT PRICE \$ 225.00

PHONE 428-8477 LICENSE NO. 16830 DATE _____

SIGNS	1. TYPE	Ground <input type="checkbox"/> Wall <input checked="" type="checkbox"/> Projecting <input checked="" type="checkbox"/> Other <input checked="" type="checkbox"/> (See D. Face)	Total Square Feet <u>12</u>	Elect. Permit No. _____
	2. MATERIAL	<u>Awning</u>		
	3. ILLUMINATION	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Type _____		
	4. SET BACK FROM PROPERTY LINE	N <u>10ft</u> S _____ E _____ W _____		
(Specify which is front) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Zone _____ Approved, Zone Inspector _____ Disapproved _____				
FENCES	1. TYPE	Solid <input type="checkbox"/> More Than 80% Open <input type="checkbox"/> Less Than 80% Open <input type="checkbox"/>	Height _____	
	2. MATERIAL	_____		
	3. SET BACK FROM PROPERTY LINE	N _____ S _____ E _____ W _____	Zone _____ Approved, Zone Inspector _____ Disapproved _____	
(Specify which is front) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>				
OTHER	1. _____	_____		
	2. _____	_____		
	3. _____	_____		

DRAW SKETCH OR SHOW BELOW, THE FENCE, SIGN, OR OTHER STRUCTURE, GIVING DISTANCES FROM PROPERTY LINES. (SETBACKS OR PROJECTIONS INCLUDED)

STREET NAME 38th

SHOW DISTANCES FROM THE MAIN BUILDING TO ADJOINING HOUSES, STREETS, AND PROPERTY LINES; ON IRREGULAR LOTS, SHOW LEAST DISTANCE TO PROPERTY LINES, NOT MAXIMUM OR AVERAGE DISTANCE.

APPLICATION FOR PLUMBING; ELECTRICAL; MECHANICAL PERMIT

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ELECTRICAL PERMIT		PLUMBING PERMIT						MECHANICAL PERMIT					
STATE LICENSE NO. _____		STATE LICENSE NO. _____						STATE LICENSE NO. _____					
ALUMINUM WIRE UNDER SIZE 8 ILLEGAL		FLOOR	BSMT	1ST	2ND	3RD	4TH	NO.	FUEL: Circle One Gas <input type="checkbox"/> Oil <input type="checkbox"/> Propane <input type="checkbox"/> Coal <input type="checkbox"/> Elec <input type="checkbox"/> Solar <input type="checkbox"/>				
NO.		WATER CLOSET							FORCED AIR	-	BTU		
TEMPORARY METER		WASH BOWL							HOT WATER	-	BTU		
NEW SERVICE - AMPS		BATH TUB							STEAM	-	BTU		
CHANGE SERVICE - AMPS		SHOWER							AIR CONDITIONING	-	BTU		
LIGHTING		SINK							OTHER				
HEATING		GARBAGE DISP.							REFRIGERATION SYSTEM				
POWER SUB-CIRCUITS		WATER HEATER							Refrigerant Group				
UTILITY (RANGE, DISPOSER, ETC.)		AUTO. WASHER							Pounds Charge				
FIXTURES		DISH WASHER							AUTOMATIC SPRINKLER SYSTEM				
WIRING MOTORS & CONTROLS		FLOOR DRAIN							ELEVATOR				
SIGNS		URINAL											
TRANSFORMERS & RECTIFIERS		SEWERS											
ADDITION TO OLD WORK		OTHER											
MOTORS OVER 1 HP		TOTAL FIXTURES											

REMARKS _____

I hereby acknowledge that this application is correct and understand that I cannot start this project until this application is approved. I shall comply with the laws of the State of Colorado and to the Zoning Regulations and Building Code of the City of Wheat Ridge. Any violation of the above terms will cause immediate revocation of this permit.

Darrell S&S
Applicant's Signature

PERMIT FEE

USE TAX

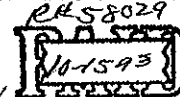
TOTAL FEE

APPROVED Murderer Reiter
CHIEF BUILDING INSPECTOR, City of Wheat Ridge

Date Issued

10-15-93

NOT VALID UNLESS RECEIPTED



CALL 234-5933
24 HOURS IN ADVANCE
FOR INSPECTIONS

THIS PERMIT VALID ONLY WHEN SIGNED BY THE CHIEF BUILDING INSPECTOR AND RECEIPTED BELOW.

APPLICATION FOR MISCELLANEOUS PERMIT

JOB ADDRESS 7100 W. 38th AVENUE OWNER ESPAÑA CLEANERS
CONTRACTOR NEIGHBORHOOD ELECTRIC ADDRESS 7100 W. 38th AVE
ADDRESS 3585 MARSHALL ST. PHONE 424-2797 ZIP CODE 80033
CITY WHEAT RIDGE ZIP CODE 80033 CONTRACT PRICE \$ 500.00
PHONE 467-1801 LICENSE NO. 3528 DATE SEPTEMBER 14, 1993

1. TYPE	Ground <input type="checkbox"/>	Wall <input type="checkbox"/>	Projecting <input type="checkbox"/>	Other <input type="checkbox"/>	S or D Face <input type="checkbox"/>
2. MATERIAL	Total Square Feet				

INSPECTION TICKET

JOB ADDRESS 7100 W 38

DATE: 10-27-93 BLDG. PERMIT# 5564

PERMIT#

BLDG. CONTR.

SUBCONTRACTOR

DATE INSP. REQ. 10-29-93

TYPE OF INSP. FMEC

INSPECTION MADE 1300

REMARKS 10-29-93

W.R. FORM 8-18

INSPECTION TICKET

JOB ADDRESS 7100 W. 38th

DATE: 9-24 BLDG. PERMIT# 5564

PERMIT#

BLDG. CONTR. Neighborhood Elec

SUBCONTRACTOR

DATE INSP. REQ. 9-24

TYPE OF INSP. elec

INSPECTION MADE 42493

REMARKS OK

W.R. FORM 8-18

USES, STREETS, AND P
GE DISTANCE.

IS ELECTRICAL; I
INDICATED WORK ONLY

PERMIT WILL EXPIRE 180 DAYS FROM THE DATE OF ISSUANCE IF WORK

ELECTRICAL PERMIT		PLUMBING PERMIT							MECHANICAL PERMIT						
STATE LICENSE NO. <u>3528</u>		STATE LICENSE NO.													
NO.	ALUMINUM WIRE UNDER SIZE 8 ILLEGAL	FLOOR	BSMT	1ST	2ND	3RD	4TH	NO.	FUEL: Circle One Gas <input type="checkbox"/> Oil <input type="checkbox"/> Propane <input type="checkbox"/> Coal <input type="checkbox"/> Elec <input type="checkbox"/> Solar <input type="checkbox"/>	FORCED AIR	- BTU	HOT WATER	- BTU	STEAM	- BTU
	TEMPORARY METER	WATER CLOSET													
	NEW SERVICE - AMPS	WASH BOWL													
	CHANGE SERVICE - AMPS <u>100 AMP</u>	BATH TUB													
	LIGHTING	SHOWER													
	HEATING	SINK													
	POWER SUB-CIRCUITS	GARBAGE DISP													
	UTILITY (RANGE, DISPOSER, ETC.)	WATER HEATER													
	FIXTURES	AUTO. WASHER													
	WIRING MOTORS & CONTROLS	DISH WASHER													
	SIGNS	FLOOR DRAIN													
	TRANSFORMERS & RECTIFIERS	URINAL													
	ADDITION TO OLD WORK	SEWERS													
	MOTORS OVER 1 HP	OTHER													
		TOTAL FIXTURES													

REMARKS

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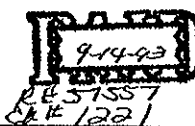
Applicant's Signature

PERMIT FEE 15.00
USE TAX 6.00
TOTAL FEE \$ 51.00

APPROVED Jack Brown by D. Thomas
CHIEF BUILDING INSPECTOR, City of Wheat Ridge

Date Issued 9-14-93

NOT VALID UNLESS RECEIPTED



CALL 234-5933
24 HOURS IN ADVANCE
FOR INSPECTIONS

THIS PERMIT VALID ONLY WHEN SIGNED BY THE CHIEF BUILDING INSPECTOR AND RECEIPTED BELOW.

APPLICATION FOR MISCELLANEOUS PERMIT

JOB ADDRESS 7100 W. 38th Ave OWNER Mary Ann Newton
CONTRACTOR Varone Plumbing Co. ADDRESS 7100 W. 38th Ave
ADDRESS 4460 Federal Blvd PHONE _____ ZIP CODE _____
CITY Denver ZIP CODE 80211 CONTRACT PRICE \$ \$2500
PHONE 455-2238 LICENSE NO. 16841 DATE _____

SIGNS	1. TYPE	Ground <input type="checkbox"/>	Wall <input type="checkbox"/>	Projecting <input type="checkbox"/>
	2. MATERIAL			
	3. ILLUMINATION	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Type _____
	4. SET BACK FROM PROPERTY LINE	N _____ S _____ E _____ W _____	(Specify which is front) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
FENCES	1. TYPE	Solid <input type="checkbox"/>	More Than 80% Open <input type="checkbox"/>	Less Than <input type="checkbox"/>
	2. MATERIAL			
	3. SET BACK FROM PROPERTY LINE	N _____ S _____ E _____ W _____	(Specify which is front) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
	4. OTHER			

INSPECTION TICKET

JOB ADDRESS 7100 W. 38th
DATE: 8-19 BLDG. PERMIT# MP93 3497
PERMIT# _____
BLDG. CONTR. Varone
SUBCONTRACTOR _____

DRAW SKETCH OR SHOW BELOW, THE FENCE, SIGN, OR OTHER STRUCTURE, GIVE (SETBACKS OR PROJECTIONS INCLUDED)

REAR PROPERTY LINE

SIDE PROPERTY LINE

FRONT PROPERTY LINE

DATE INSP. REQ. 8-19 (u-m.)
TYPE OF INSP. r. plumb
INSPECTION MADE 8-19-93
REMARKS w/v OK
Joe
W.R. FORM 8-19

STREET NAME _____

SHOW DISTANCES FROM THE MAIN BUILDING TO ADJOINING HOUSES, STREETS, AND DISTANCE TO PROPERTY LINES, NOT MAXIMUM OR AVERAGE DISTANCE.

APPLICATION FOR PLUMBING; ELECTRICAL; MECHANICAL PERMIT

THIS APPLICATION WILL BECOME A PERMIT TO PERFORM THE INDICATED WORK ONLY UPON VALIDATION BY THE BUILDING INSPECTION DIVISION. PERMIT WILL EXPIRE 180 DAYS FROM THE DATE OF ISSUANCE IF WORK IS NOT STARTED WITHIN THAT TIME.

ELECTRICAL PERMIT		PLUMBING PERMIT						MECHANICAL PERMIT					
STATE LICENSE NO. _____		STATE LICENSE NO. _____						STATE LICENSE NO. _____					
NO.	DESCRIPTION	FLOOR	BSMT	1ST	2ND	3RD	4TH	NO.	FUEL: Circle One Gas Oil Propane Coal Elec Solar	BTU	BTU	BTU	BTU
	ALUMINUM WIRE UNDER SIZE & ILLEGAL	WATER CLOSET		1					FORCED AIR	-	BTU		
	TEMPORARY METER	WASH BOWL		1					HOT WATER	-	BTU		
	NEW SERVICE - AMPS	BATH TUB							STEAM	-	BTU		
	CHANGE SERVICE - AMPS	SHOWER							AIR CONDITIONING	-	BTU		
	LIGHTING	SINK							OTHER				
	HEATING	GARBAGE DISP.							REFRIGERATION SYSTEM				
	POWER SUB-CIRCUITS	WATER HEATER		5					Refrigerant Group				
	UTILITY (RANGE, DISPOSER, ETC.)	AUTO. WASHER							Pounds Charge				
	FIXTURES	DISH WASHER							AUTOMATIC SPRINKLER SYSTEM				
	WIRING MOTORS & CONTROLS	FLOOR DRAIN							ELEVATOR				
	SIGNS	URNAL											
	TRANSFORMERS & RECTIFIERS	SEWERS											
	ADDITION TO OLD WORK	OTHER											
	MOTORS OVER 1 HP	TOTAL FIXTURES											

REMARKS _____

I hereby acknowledge that this application is correct and understand that I cannot start this project until this application is approved. I shall comply with the laws of the State of Colorado and to the Zoning Regulations and Building Code of the City of Wheat Ridge. Any violation of the above terms will cause immediate revocation of this permit.

John Varone
Applicant's Signature

PERMIT FEE	<u>54.00</u>
USE TAX	<u>30.00</u>
TOTAL FEE	<u>\$ 84.00</u>

APPROVED John Grassley
DISAPPROVED _____
CHIEF BUILDING INSPECTOR, City of Wheat Ridge

Date Issued 8-17-93

NOT VALID UNLESS RECEIPTED
8-17-93
CHIEF CAS

CALL 234-5933
24 HOURS IN ADVANCE
FOR INSPECTIONS

THIS PERMIT VALID ONLY WHEN SIGNED BY THE CHIEF BUILDING INSPECTOR AND RECEIPTED BELOW.

APPLICATION FOR MISCELLANEOUS PERMIT

JOB ADDRESS 7100 W. 38th Ave
CONTRACTOR Mary Ann Hutton
ADDRESS 7075 W. 38th Ave
CITY Wheat Ridge ZIP CODE 80033
PHONE 424-2757 LICENSE NO. _____
OWNER Esprit Cleaners
ADDRESS 7075 W. 38th Ave
PHONE 424-2757 ZIP CODE 80033
CONTRACT PRICE \$ 5000.00 / 1,000.00
DATE 7-13-93

SIGNS	1. TYPE	Ground <input type="checkbox"/> Wall <input type="checkbox"/> Projecting <input type="checkbox"/> Other _____ S or D Face _____
	2. MATERIAL	_____ Total Square Feet _____
	3. ILLUMINATION	Yes <input type="checkbox"/> No <input type="checkbox"/> Type _____ Elect. Permit No. _____
	4. SET BACK FROM PROPERTY LINE	N _____ S _____ E _____ W _____ Zone _____ Approved, Zone Inspector _____ (Specify which is front) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Disapproved _____
FENCES	1. TYPE	Solid <input type="checkbox"/> More Than 80% Open <input type="checkbox"/> Less Than 80% Open _____
	2. MATERIAL	_____ Height _____
	3. SET BACK FROM PROPERTY LINE	N _____ S _____ E _____ W _____ Zone _____ Approved, Zone Inspector _____ (Specify which is front) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Disapproved _____
	OTHER	
<u>1. Build small structure at rear of building to accommodate</u> <u>2. toilet and related equipment. Create handicap accessible</u> <u>3. bathroom. new toilet sitting from 7075 to 7100 W. 38th Ave.</u> <u>Remodel in sick. ZONED C-1/Use OK</u>		

DRAW SKETCH OR SHOW BELOW, THE FENCE, SIGN, OR OTHER STR (SETBACKS OR PROJECTIONS INCLUDED)

REAR PROPER

SIDE PROPERTY LINE

FRONT PROPE

STREET NAME _____

INSPECTION TICKET

JOB ADDRESS 7100 W. 38th

DATE: 10-1 BLDG. PERMIT# _____

PERMIT# _____

BLDG. CONTR. Hutton

SHOW DISTANCES FROM THE MAIN BUILDING TO ADJOINING HOUSE DISTANCE TO PROPERTY LINES, NOT MAXIMUM OR AVERAGE

APPLICATION FOR PLUMBING; E

THIS APPLICATION WILL BECOME A PERMIT TO PERFORM THE INC PERMIT WILL EXPIRE 180 DAYS FROM THE DAT

ELECTRICAL PERMIT		PLU
STATE LICENSE NO. _____		STATE LICEN
ALUMINUM WIRE UNDER SIZE B ILLEGAL	FLOOR	
NO.	WATER CLOSET	
TEMPORARY METER	WASH BOWL	
NEW SERVICE - AMPS	BATH TUB	
CHANGE SERVICE - AMPS	SHOWER	
LIGHTING	SINK	
HEATING	GARBAGE DISP	
POWER SUB-CIRCUITS	WATER HEATER	
UTILITY (RANGE, DISPOSER, ETC.)	AUTO. WASHER	
FIXTURES	DISH WASHER	
WIRING MOTORS & CONTROLS	FLOOR DRAIN	
SIGNS	URINAL	
TRANSFORMERS & RECTIFIERS	SEWERS	
ADDITION TO OLD WORK	OTHER	
MOTORS OVER 1 HP	TOTAL FIXTURES	

REMARKS 424-2757
Framing OK JEP

W.R. FORM 5-19

REMARKS

I hereby acknowledge that this application is correct and understand that I cannot start this project until this application is approved. I shall comply with the laws of the State of Colorado and to the Zoning Regulations and Building Code of the City of Wheat Ridge. Any violation of the above terms will cause immediate revocation of this permit

Mary Ann Hutton
Applicant Signature

PERMIT FEE 25.00 254.00
USE TAX 20.00 36.00
TOTAL FEE 45.00 \$90.00
APPROVED JCP EHL
CHIEF BUILDING INSPECTOR, City of Wheat Ridge

Date Issued 8-11-93

NOT VALID UNLESS RECEIPTED

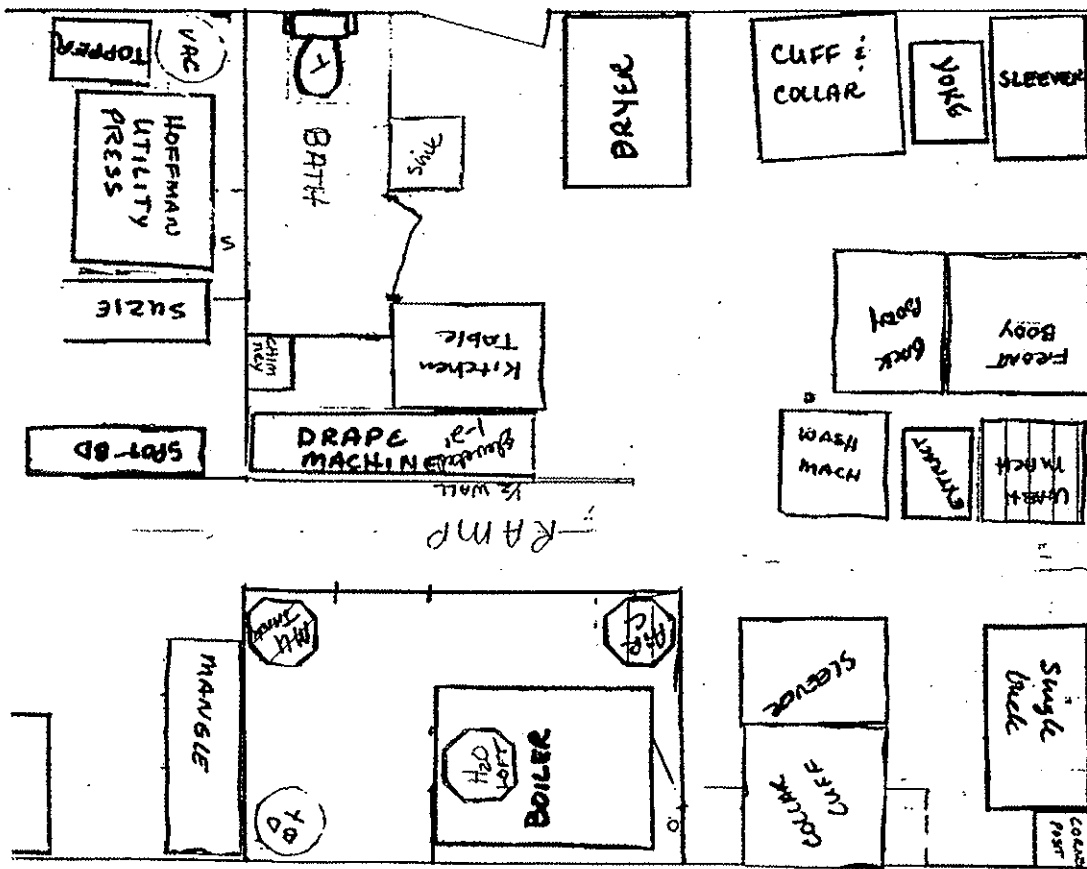
PH 52915
8-11-93
CH 4172

CALL 234-5933
24 HOURS IN ADVANCE
FOR INSPECTIONS

#2 PR SPI

8193

live



THIS PERMIT VALID ONLY WHEN SIGNED BY THE CHIEF BUILDING INSPECTOR AND RECEIPTED BELOW.

APPLICATION FOR MISCELLANEOUS PERMIT

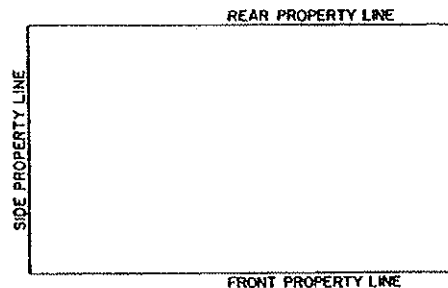
JOB ADDRESS 7100 38th OWNER ESPER CLEANERS
CONTRACTOR KASCO ADDRESS 7100 38th
ADDRESS 1250 GOLDEN CIR #202 PHONE 424-2757 ZIP CODE _____
CITY GOLDEN ZIP CODE 80401 CONTRACT PRICE \$ 5250.00
PHONE 279-1351 LICENSE NO. _____ DATE 8-12-93

SIGNS	1. TYPE	Ground <input type="checkbox"/>	Wall <input type="checkbox"/>	Projecting <input type="checkbox"/>	Other _____	S or D Face _____
	2. MATERIAL	Total Square Feet _____				
	3. ILLUMINATION	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Type _____		
	4. SET BACK FROM PROPERTY LINE	N _____	S _____	E _____	W _____	
(Specify which is front) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>						
FENCES	1. TYPE	Solid <input type="checkbox"/>	More Than 80% Open <input type="checkbox"/>	Less Than _____		
	2. MATERIAL					
	3. SET BACK FROM PROPERTY LINE	N _____	S _____	E _____	W _____	
(Specify which is front) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>						
OTHER	1.					
	2.					
	3.					

INSPECTION TICKET

JOB ADDRESS 7100 W 38th
DATE: 9-20-93 MM93
BLOG. PERMIT# 4238
PERMIT# _____

DRAW SKETCH OR SHOW BELOW, THE FENCE, SIGN, OR OTHER STRUCTURE, GIVING (SETBACKS OR PROJECTIONS INCLUDED)



BLDG. CONTR. _____
SUBCONTRACTOR _____
DATE INSP. REQ. 9-21-93
TYPE OF INSP. GAS + CONF
INSPECTION MADE GAS OK
REMARKS Jan

SHOW DISTANCES FROM THE MAIN BUILDING TO ADJOINING HOUSES, STREETS, AND DISTANCE TO PROPERTY LINES, NOT MAXIMUM OR AVERAGE DISTANCE.

W.R. FORM 6-19

APPLICATION FOR PLUMBING; ELECTRICAL;

THIS APPLICATION WILL BECOME A PERMIT TO PERFORM THE INDICATED WORK ONLY. PERMIT WILL EXPIRE 180 DAYS FROM THE DATE OF ISSUANCE IF WORK IS NOT COMPLETED.

ELECTRICAL PERMIT								PLUMBING PERMIT								MECHANICAL PERMIT							
STATE LICENSE NO. _____								STATE LICENSE NO. _____								STATE LICENSE NO. _____							
ALUMINUM WIRE UNDER SIZE 8 ILLEGAL								FLOOR		BSMT	1ST	2ND	3RD	4TH		NO.	FUEL: Circle One	Gas	Oil	Propane	Coal	Elec	Solar
NO.								WATER CLOSET									FORCED AIR	-	BTU				
TEMPORARY METER								WASH BOWL									HOT WATER	-	BTU				
NEW SERVICE - AMPS								BATH TUB									STEAM	-	BTU				
CHANGE SERVICE - AMPS								SHOWER									AIR CONDITIONING	-	BTU				
LIGHTING								SINK									OTHER						
HEATING								GARBAGE DISP.									REFRIGERATION SYSTEM						
POWER SUB-CIRCUITS								WATER HEATER									Refrigerant Group						
UTILITY (RANGE, DISPOSER, ETC.)								AUTO. WASHER									Pounds Charge						
FIXTURES								DISH WASHER									AUTOMATIC SPRINKLER SYSTEM						
WIRING MOTORS & CONTROLS								FLOOR DRAIN									ELEVATOR						
SIGNS								URNAL															
TRANSFORMERS & RECTIFIERS								SEWERS															
ADDITION TO OLD WORK								OTHER															
MOTORS OVER 1 HP								TOTAL FIXTURES															

REMARKS RELOCATE BOILER & EQUIPMENT.

I hereby acknowledge that this application is correct and understand that I cannot start this project until this application is approved. I shall comply with the laws of the State of Colorado and to the Zoning Regulations and Building Code of the City of Wheat Ridge. Any violation of the above terms will cause immediate revocation of this permit.

PERMIT FEE 81.10
USE TAX 63.00
TOTAL FEE \$144.00
APPROVED Joseph E. Packer
DISAPPROVED _____
CHIEF BUILDING INSPECTOR, City of Wheat Ridge

NOT VALID UNLESS RECEIPTED
R# 56936
8-12-93
C# 6564

CALL 234-5933
24 HOURS IN ADVANCE
FOR INSPECTIONS

Applicant's Signature [Signature] Date Issued 8/12/93

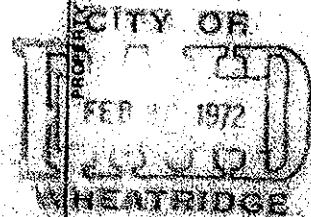
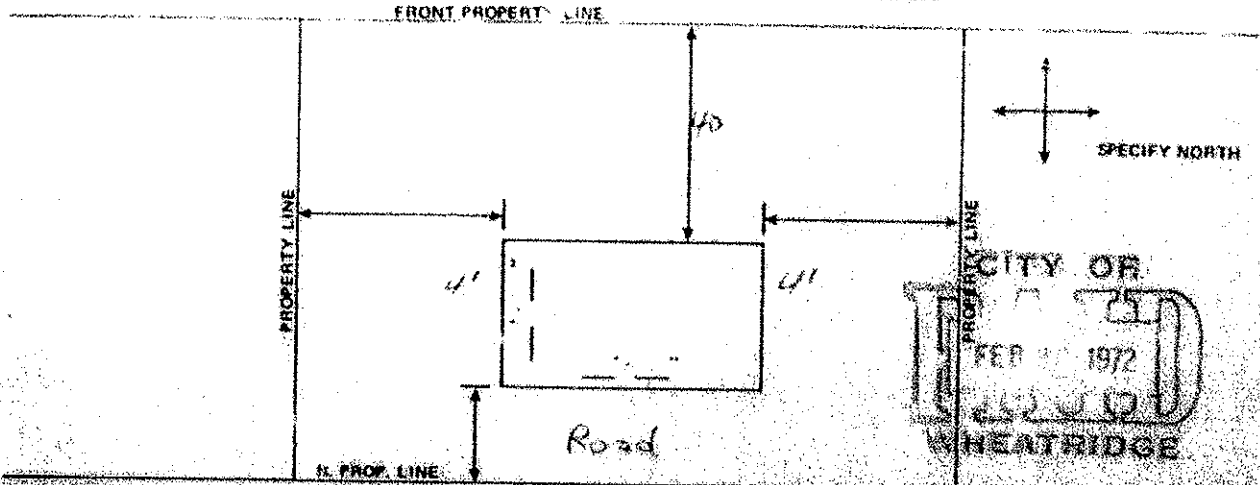
[illegible]

CITY OF WHEAT RIDGE BUILDING PERMIT APPLICATION
 7470 WEST 38th AVENUE
 421 8480

Two sets of building plans and two plot plans must accompany this application

PERMIT NO. 194

Address 7150 W. 38th



Show distance from other houses, streets, property lines, above

On irregular lots, show least distance from house to property lines, not maximum or average distance.

Setbacks from property lines are as follows: (Circle front) N E S W

OWNER'S NAME Des J. Byrne

LEGAL DESCRIPTION

CONTRACTOR Self

LICENSE NO. —

Metes and Bounds Description Attached

ADDRESS 7150 W. 38th

ADDRESS 1890 Lakewood

PHONE 238-6932

LOT NO. —

BLOCK NO. —

CITY Lakewood

ZIP CODE 80215

SUBDIVISION —

FILING —

LOT WIDTH —

DEPTH —

AREA —

Indicate those of the following off-site improvements now existing: curb & gutter ☒ street paving ☒ water ☒ sewer ☒ storm drainage

Have arrangements been made to provide for those not now existing: Yes ☐ No ☒ Are there any special easements against this property? Yes ☐ No ☒

OCCUPANCY Office & Warehouse

Exterior materials: Walls Brick

Roof Asph/Flt, Sandblasted

Stories 1 Units 790 sq ft

Remarks Five Roman style & general remodeling.

I hereby certify that the above setback distances shown on this permit as shown are accurate and do not violate applicable Ordinance, rules or regulations of the City of Wheat Ridge or contracts, easements or restrictions of record, that all measurements shown, and allegations made are accurate, that I have read and agree to abide by all conditions printed on both sides of this application.

IC: art (Inspector)

Signed Des J. Byrne

By —

Date 7-22-72

Basement rough
 Basement finished
 Ground floor
 Second floor
 Garage
 Other
 Other

Sq. Ft.	Cost
<u>600</u>	<u>3000.00</u>
<u>6100</u>	<u>12000.00</u>

Building Department use only

ZONED C-1

Remarks: —

Board of Adjustment Case No. — Date —

Remarks: —

Building Cost \$ 3000.00

FEE: \$ 10.00

APPROVED Jack E. Prime
 CHIEF BUILDING INSPECTOR, City of Wheat Ridge

By —

Date issued 2-2-72

FRONT

Counter Top

Sec.
Office

Solid 8'
Partition

Solid 4' high
Partition

Solid 4' high
Partition with
Lattice work
Stainless Steel
S.M.W.

Door to
Back Office

Waiting Room
OR OFFICE

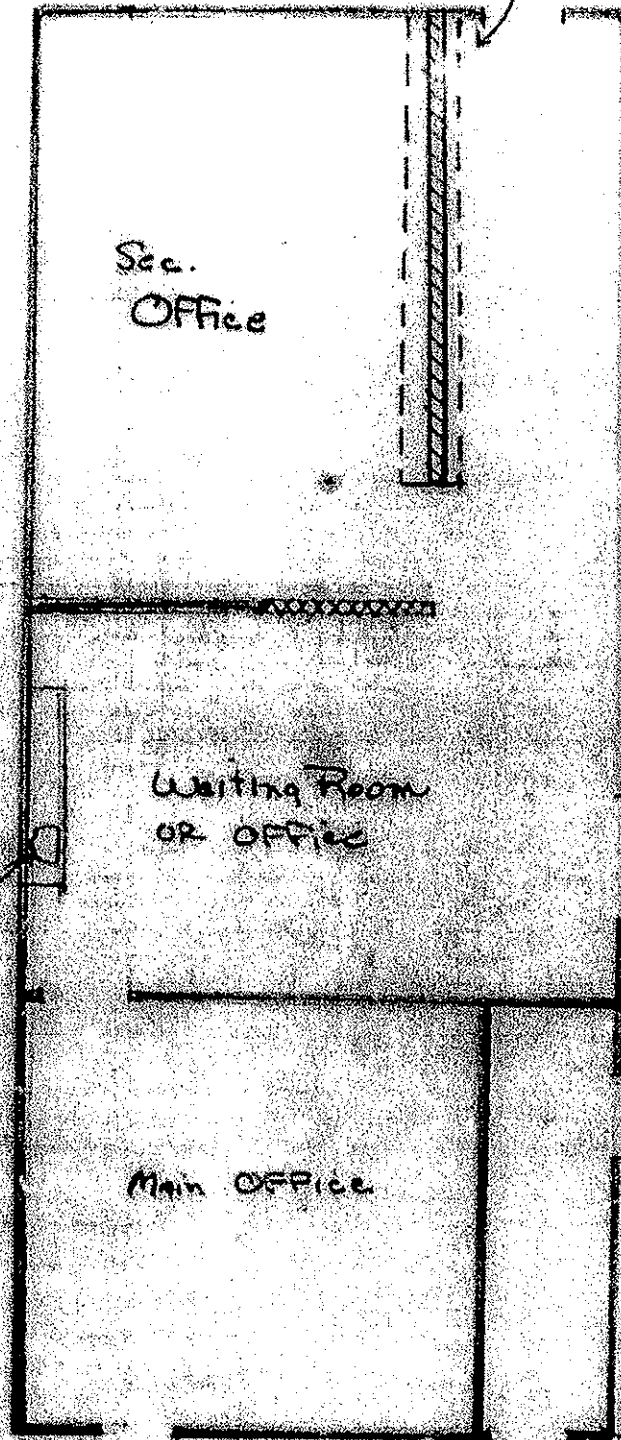
Main Office

Door From
Warehouse

Warehouse

Metal window

Door to Bathroom



INSPECTION TICKET

DATE 3-3-72 BLDG. PERMIT # 794

PERMIT #

ADDRESS 7150 W. 38th Ave.BLDG. CONTR. Dec. J. ByrnesSUBCONTRACTOR Zero Pkg.INSPECTION REQUESTED Pkg.

For

INSPECTION MADE OK 2/25/72REMARKS OK

W.R. FORM 4-18

INSPECTION TICKET

DATE 3-3-72 BLDG. PERMIT # 794

PERMIT #

ADDRESS 7150 W. 38th Ave.BLDG. CONTR. Dec. J. ByrnesSUBCONTRACTOR Zero Pkg.INSPECTION REQUESTED 3-3-72For lph. plumb, lty & framing.INSPECTION MADE 3-3-72REMARKS OK

W.R. FORM 4-18

INSPECTION TICKET

DATE 4/14/72 BLDG. PERMIT # 794

PERMIT #

ADDRESS 7150 W. 38th Ave.BLDG. CONTR. Dec. J. ByrnesSUBCONTRACTOR Zero Pkg.INSPECTION REQUESTED Final Pkg.on Monday 2:00INSPECTION MADE Met -REMARKS J.D. Ind. Insulationto J.D. Ind.Warehouse &Office displayarea

W.R. FORM 4-18

Issue C.O.
to J.D. Industrial
Insulation Inc.
Warehouse &
Office display
area

1972

9#794

6-22-72

Das J. Byrnes

7150 West 38th Avenue

South 89' of North 115' of West 59.5' of East 1,306.5' of
NEX Sec 26, 369 West Ridge, Colorado

office and display area J. O. Industrial Insulation Inc.

1890 Yarrow Lakewood 80215

Das J. Byrnes

PLUMBING PERMIT

P 525
872#794

WHEAT RIDGE, COLORADO

DATE ISSUED

2-25-72

ADDRESS OF JOB

7150 West 38th Avenue

FEE

\$5.00 (\$750)

CONTRACTOR OR OWNER

Zero Plbg. Co. owner-Dee Byrnes

PERMISSION IS HEREBY GRANTED TO install plumbing and 4 fixtures

CONDITIONS

1. THIS PERMIT WAS ISSUED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN YOUR APPLICATION.
2. CONTRACTOR SHALL NOTIFY THE BUILDING INSPECTOR TWENTY-FOUR (24) HOURS IN ADVANCE FOR ALL INSPECTIONS. REFER TO THIS PERMIT NUMBER WHEN YOU CALL.
3. CONTRACTOR OR OWNER ACCEPTS FULL RESPONSIBILITY FOR COMPLIANCE WITH APPLICABLE LAWS OF THE STATE OF COLORADO AND TO THE ZONING REGULATIONS AND BUILDING CODE OF CITY OF WHEAT RIDGE, COLORADO OR ANY OTHER APPLICABLE ORDINANCES OF THE CITY.

THIS PERMIT IS NOT TRANSFERABLE

CITY OF WHEAT RIDGE
7470 W. 38th AVENUE
WHEAT RIDGE, COLORADO 80033
421-8480

Jack E. Spore
CHIEF BUILDING INSPECTOR
Albert E. Underwood
MAYOR

CITY OF WHEAT RIDGE PLUMBING PERMIT APPLICATION
 7470 WEST 38th AVENUE
 421-8480

PERMIT NO. P-525

JOB ADDRESS 7150 N 38th Ave OWNERS NAME Joe Byrnes
 CONTRACTOR Joe Plumbing Co LICENSE NO. 1686
 ADDRESS 1810 Blake St PHONE 266-3041
 CITY Denver ZIP CODE 80202 CONTRACT PRICE \$ 150.00

FLOOR	Basement	1st	2nd	3rd	4th	5th	6th	7th	8th	9th	10th	11th	12th	13th	14th	15th	16th
WATER CLOSET		1															
WASH SINK		1															
BATH TUB																	
SHOWER																	
SINK ONLY		1															
GARAGE DISP. ONLY																	
SINK AND GARB. DISP.																	
WATER HEATER		1															
WASH TUBS																	
AUTO WASHER																	
DISH WASHER																	
SLOP HOPPER																	
FLOOR DRAIN																	
URINAL																	
DRINKING FTY.																	
SAND TRAP																	
SEWER																	
OTHER																	
GREASE TRAP																	
WATER METER		1															

1
2
3
4
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6
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11
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14
15
16

I certify that I will assume full responsibility for compliance with the regulations of the Wheat Ridge Building Code (LBC) and all other applicable Wheat Ridge ordinances, for work under this permit.

(Owner/Contractor)
 Signed Joe Byrnes
 By Joe Byrnes
 Date 2-25-72

FEE \$ 5.00

APPROVED
 CHIEF BUILDING INSPECTOR, City of Wheat Ridge

By Jack E. O'Neil
 Date Issued 2-25-72

NOT VALID UNLESS RECEIVED
 CITY OF
 WHEAT RIDGE
 FEB 25 1972

WA FORM 33

(OVER)

APPENDIX C

**Environmental Data Resources (EDR), Inc. Radius Report
with GeoCheck®, Historical Topographic Maps,
and Sanborn Map Report**

(under separate cover)